

Description of 'Maxed' Out Villa's Pointe Esprit Residences

Total interior space: **305.1m² (3,280 sf)**

Total exterior space (stairs, covered & uncovered terraces and pool): **176.2m² (1,895 sf)**

Total living space (interior and exterior): **481.3m² (5,175 sf)**

Basement Level (Arrival Level): Total interior guest suite size, 41.4m² ((445 sf)

Guest Suite: 29.8 m² (321sf)

Covered Front Porch: 7.9m² (85sf)

Storage/Walk-in Closet: 4.1m² (44sf)

Private Balcony: 3.2m² (34sf)

Bathroom: 7.5m² (81sf)

Technical Room: 9.1m² (98sf) pool equipment, pumps, filters, general storage

Domestic Elevator cabin to main level: automatic doors and automated safety features

Main Level:

Master bedroom suite: 24.4m² (263sf)

Master bathroom and closets: 18.7m² (201sf)

Master balcony: 12.6m² (136sf)

Kitchen: 13.2m² (142sf) (Granite countertop and stainless steel appliances)

Dining Room: 17.2m²

Living Room/ vide area: 56.4m² (607sf)

Entrance Hallway & Storage room: 9.4m² (101sf)

1/2 Bathroom and Hallway: 3.2m² (34sf)

Laundry Room: 5.0m² (54sf)

Covered Exterior Terrace: 8.2m² (88sf)

Pool-deck: 52.7m² (567sf)

Double infinity (negative) edge pool: 20m² (215sf , nominally 10ft x 22ft), larger pool optional

Upper Level

Hallway area: 26.3m² (283sf)

Bedroom 1: 21.3m² (229sf)

Private Bathroom for Bedroom 1: 4.3m² (46sf)

Bedroom 2: 21.3m² (229sf)

Private Bathroom for Bedroom 2: 4.3m² (46sf)

Bedroom3: 20.0m² (215sf)

Private Bathroom for Bedroom 3: 4.3m² (46sf)

Private Covered Terrace for Bedroom 3: 5.9m² (63sf)

Common Covered Terrace Bedroom 1 and 2: 14.3 m² (154sf)

Optional Roof Terrace: 49.5 m² (533sf)

Miscellaneous

Not indicated are the driveway (approx. 30m), planters, retaining walls, landscaping, main entrance stairwell, etc.

Property sizes vary between 1900 and 2.000m². freehold

Underground Electric Service, Waterlines, Telephone and CATV will be provided.

Note: prices will vary according to wishes/budget of principal. The above mentioned specs are for the 'maximum villa' featuring 4 bedrooms, 4-1/2 bathroom, a full guest suite (1 bed, 1 bath), domestic elevator and roof terrace.

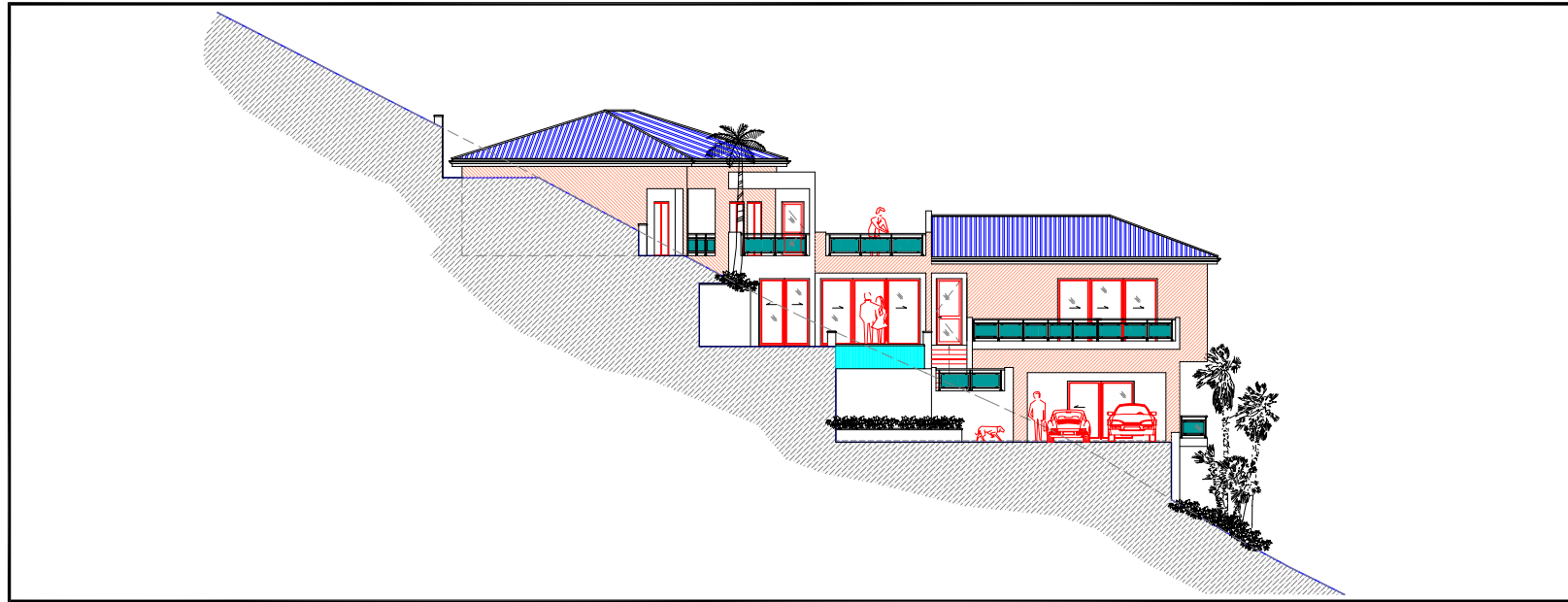
The 'minimum villa' features 3 bedrooms, 3-1/2 bathrooms and the apartment will be converted into a double carport. The elevator hoist-way will be built, but the elevator will not be installed and the roof over the kitchen area will receive a bituminous coating instead of a tiled surface with railings. However, the owner will receive all plans and permits necessary to increase the size of the home by converting the carport into the guest suite, installing the elevator in the provided shaft, transforming the roof in a roof terrace and adding the 4th bedroom. at a future time

View from the new homes of Little Bay, Great Bay & Pointe Blanche.



POINTE ESPRIT RESIDENCES

BEETHOVEN ROAD, CAY HILL, ST. MAARTEN, NA

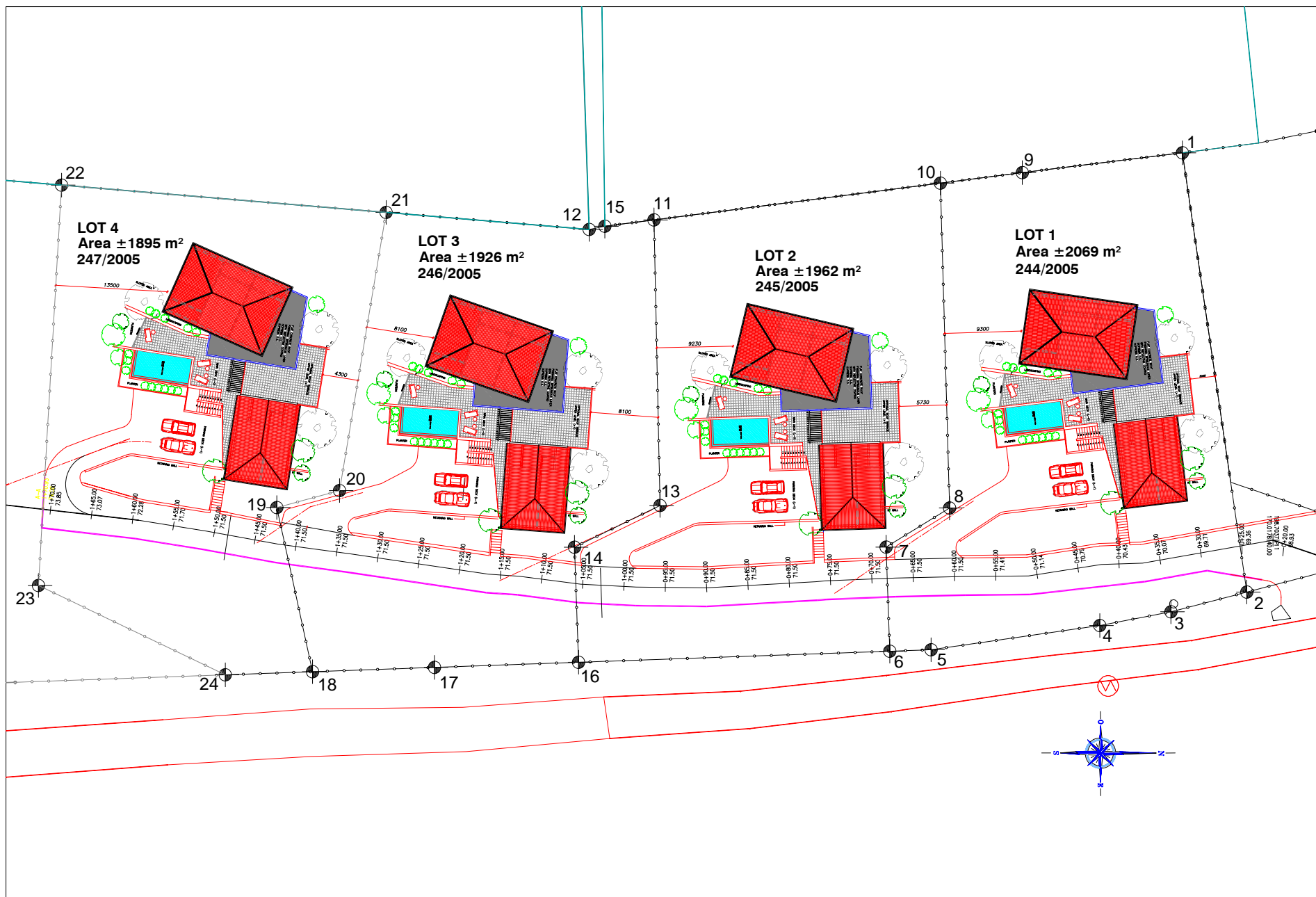


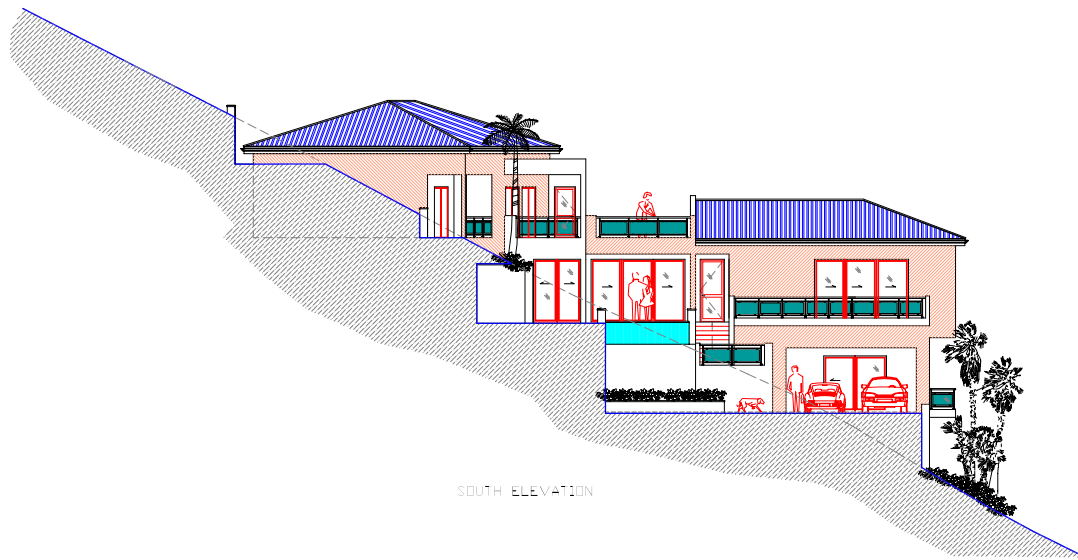
ARCHITECTURAL DRAWINGS

- A-01 LOCATION PLAN &
- A-02 NORTH, SOUTH & EAST ELEVATION
- A-03 BASEMENT LAY-OUT (-1) & FOUNDATION PLAN MAIN LEVEL (0) + BASEMENT (-1)
- A-04 MAIN FLOOR LAY-OUT (0) + FOUNDATION PLAN UPPER LEVEL (+1)
- A-05 UPPER FLOOR LAY-OUT (0)
- A-06 RAFTER PLAN, TOP PROJECTION, FLOOR REINF. ALL LEVELS
- A-07 SECTION A-A + STRUCTURAL DETAILS
- A-08 DOOR & WINDOW SCHEDULE

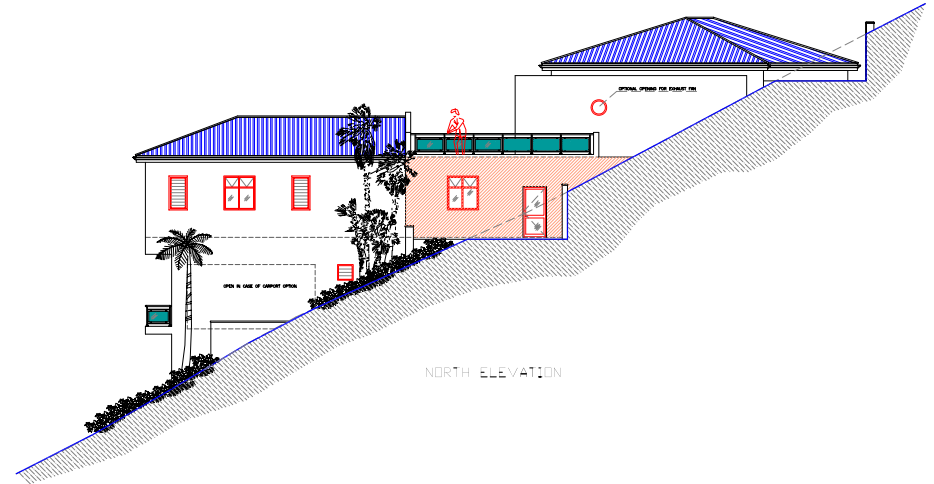
UTILITY DRAWINGS

- E-01 ELECTRICAL LAY-OUT ALL FLOOR LEVELS
- P-01 PLUMBING LAY-OUT ALL FLOOR LEVELS & SEPTIC TANK

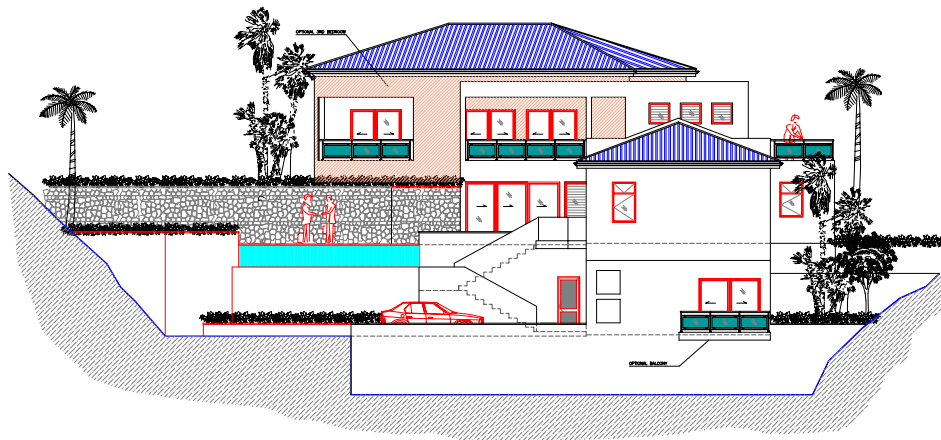




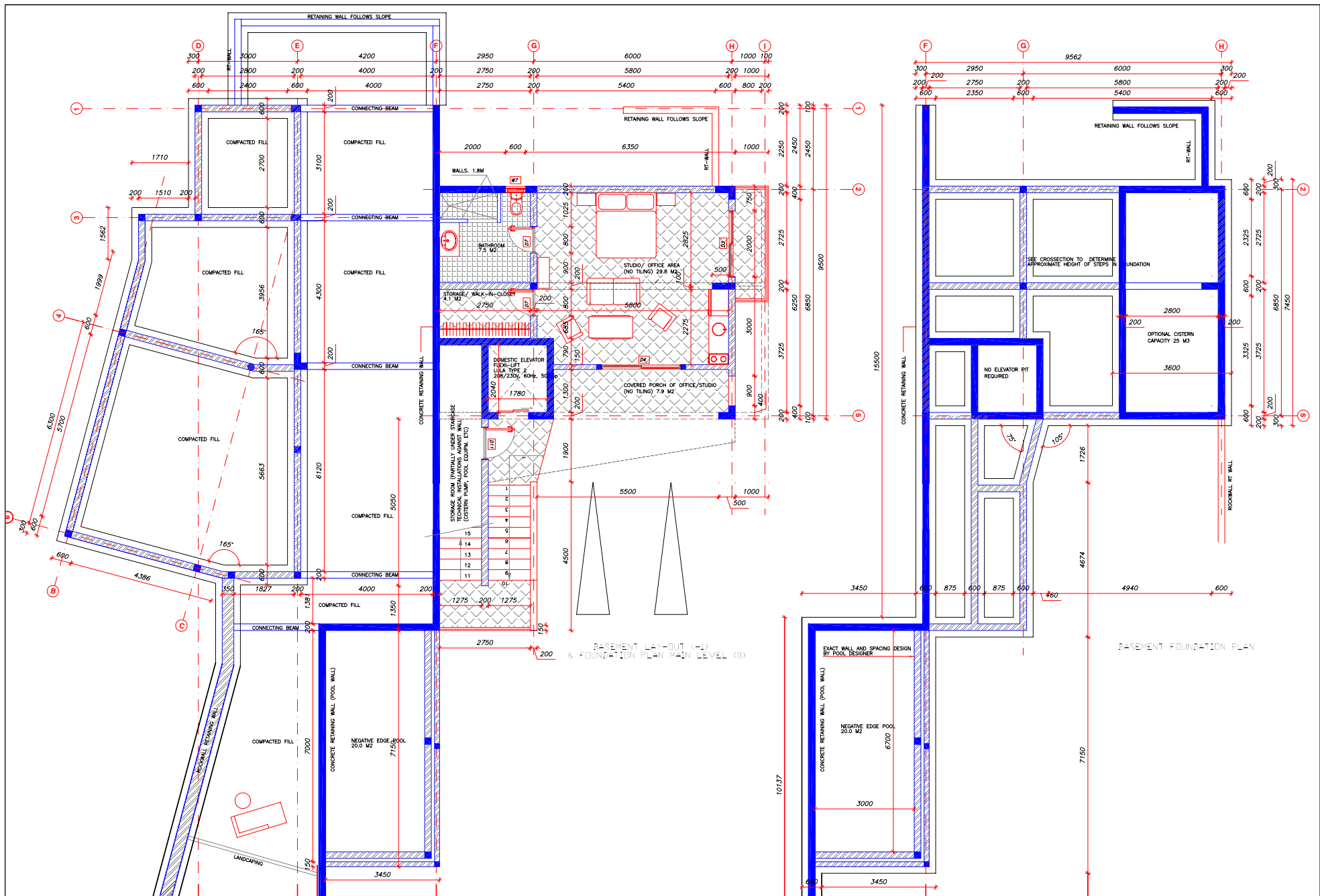
SOUTH ELEVATION



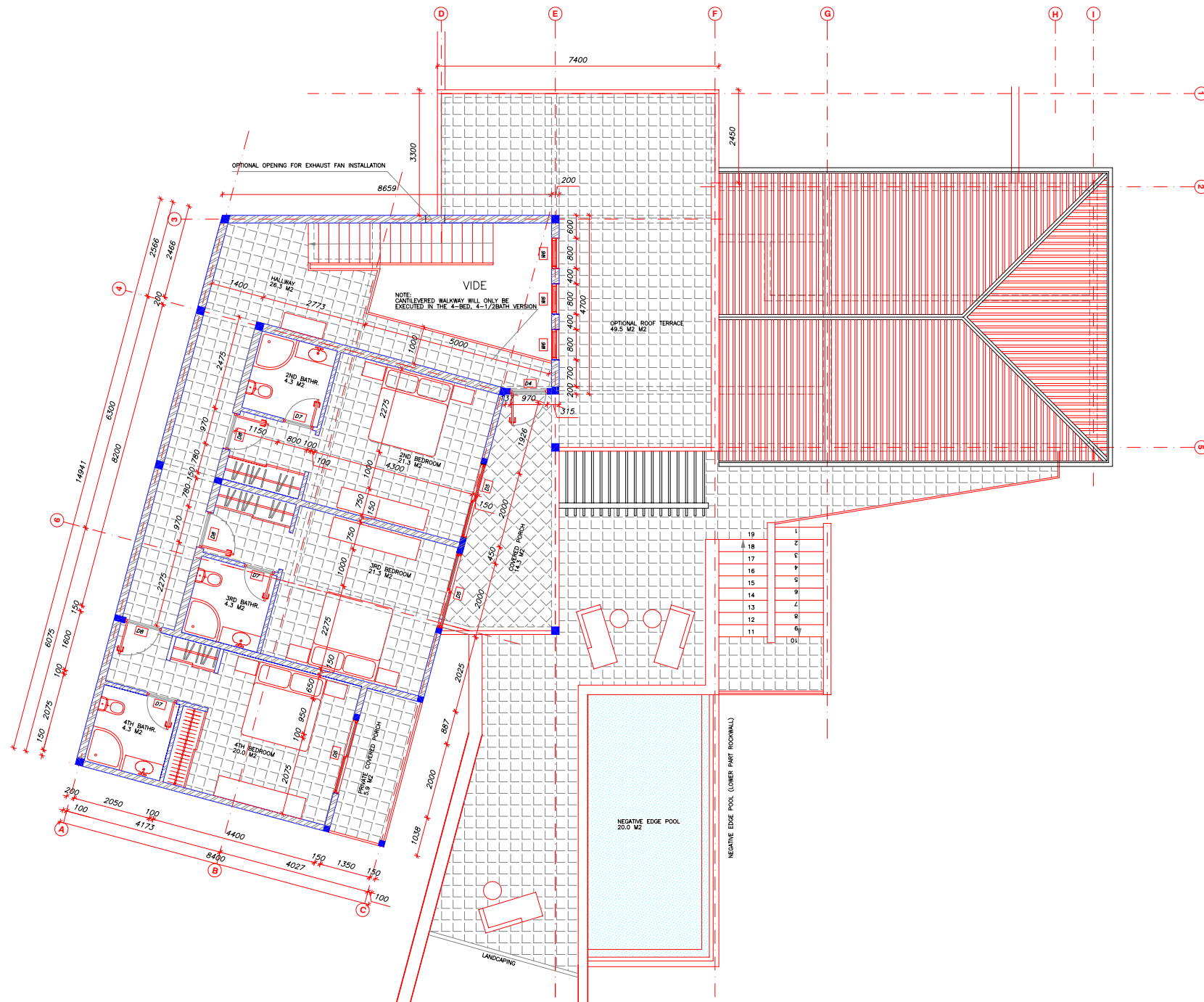
NORTH ELEVATION

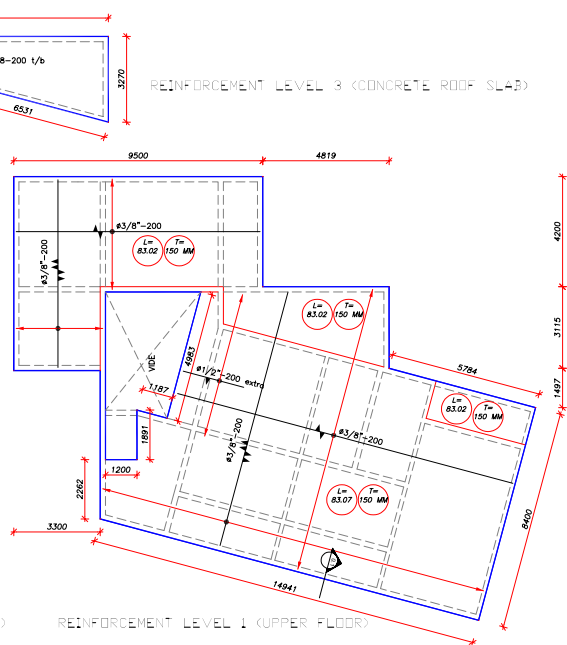
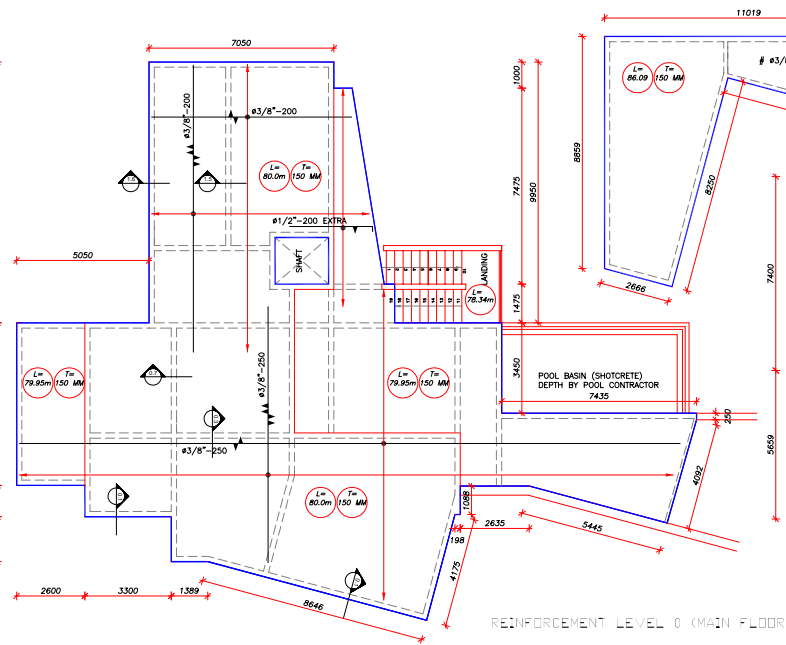
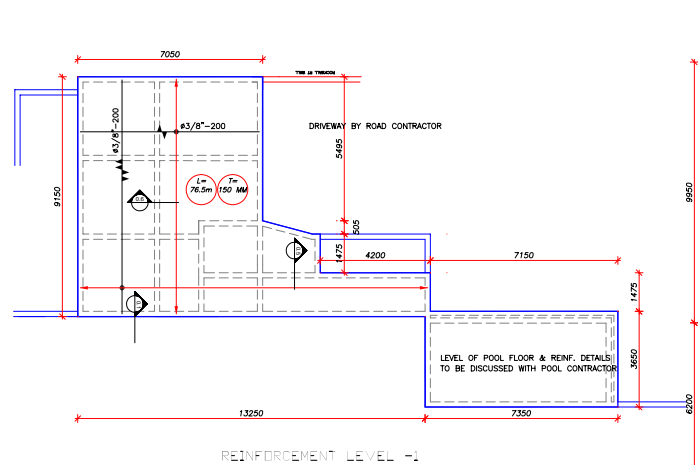
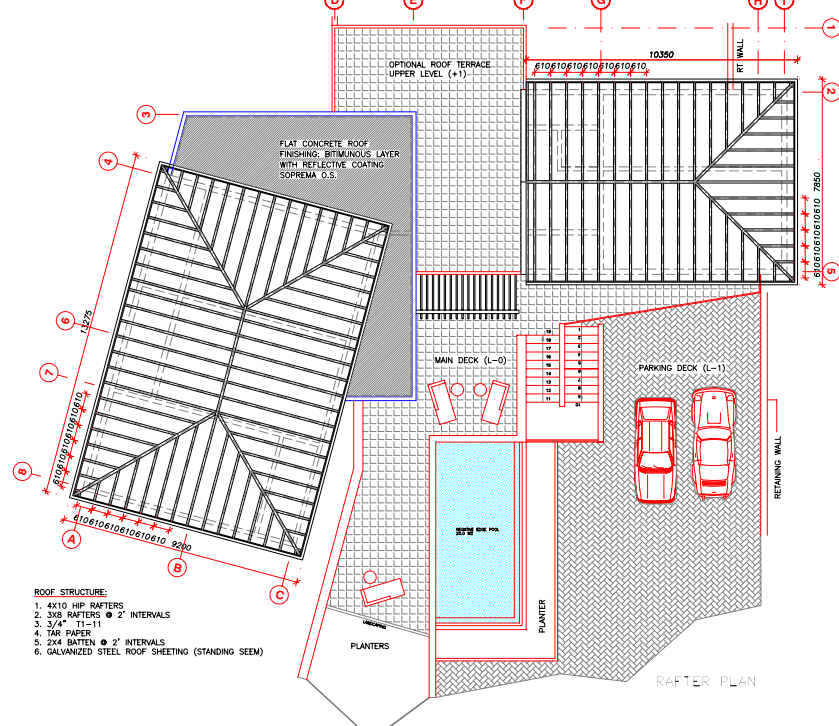
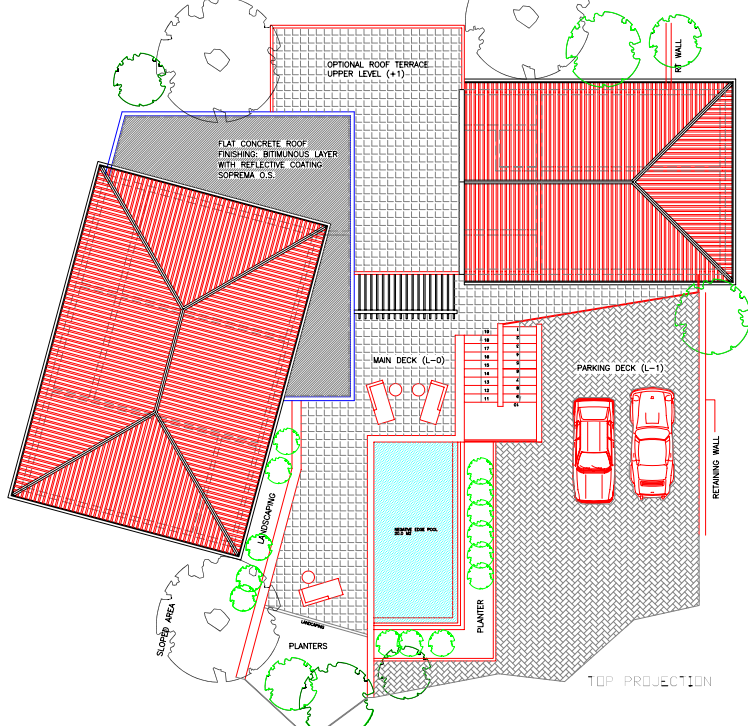


EAST ELEVATION





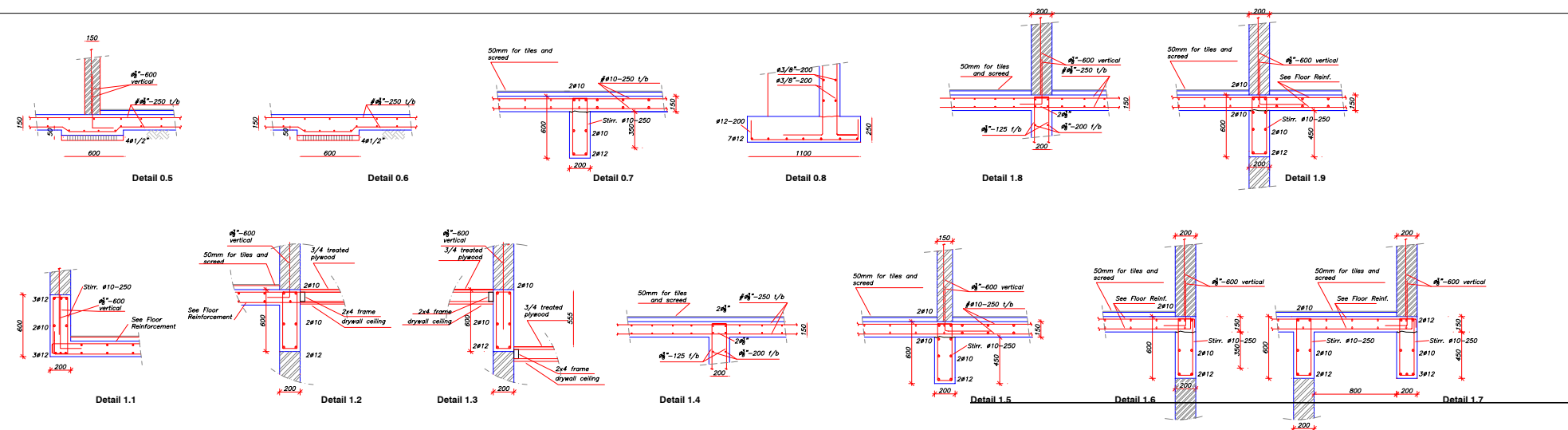


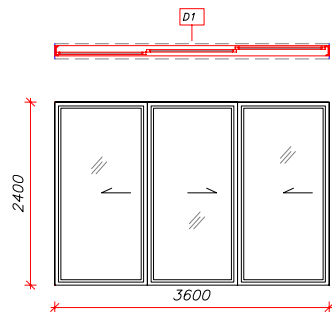


REINFORCEMENT LEVEL 3 (CONCRETE ROOF SLAB)

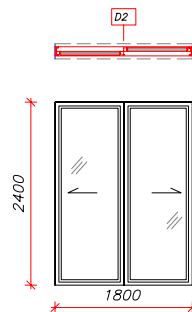
REINFORCEMENT LEVEL 0 (MAIN FLOOR)

REINFORCEMENT LEVEL 1 (UPPER FLOOR)

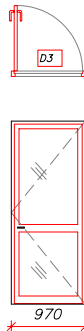




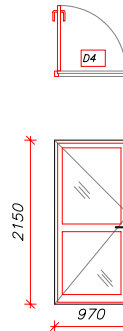
DOOR TYPE: D1
QUANTITY: 03
3-PANE ALUMINUM SLIDING DOORS
INCL. MOSQUITO SCREEN



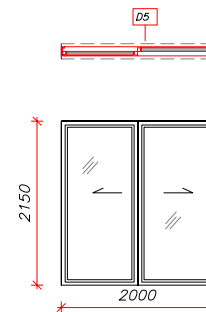
DOOR TYPE: D2
QUANTITY: 01
2-PANE ALUMINUM SLIDING DOORS
INCL. MOSQUITO SCREEN



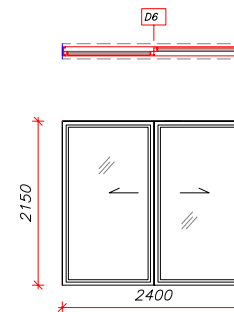
DOOR TYPE: D3
QUANTITY: 01
ALUMINUM FRAME GLASS DOOR
RIGHT TURNING



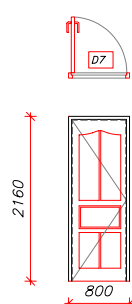
DOOR TYPE: D4
QUANTITY: 02
ALUMINUM FRAME GLASS DOOR
LEFT TURNING 01
RIGHT TURNING 01



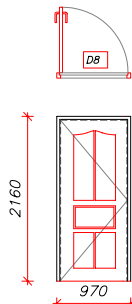
DOOR TYPE: D5
QUANTITY: 02 IN 3 BEDROOM OPTION
QUANTITY: 03 IN 4 BEDROOM OPTION
QUANTITY: 04 IN 5 BEDROOM OPTION (STUDIO)
2-PANE ALUMINUM SLIDING DOORS
INCL. MOSQUITO SCREEN



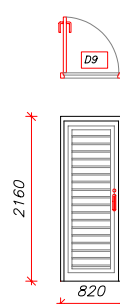
DOOR TYPE: D6
QUANTITY: 01 IN STUDIO OPTION ONLY
2-PANE ALUMINUM SLIDING DOORS
INCL. MOSQUITO SCREEN



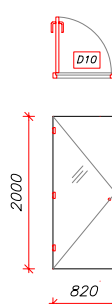
DOOR TYPE: D7
QUANTITY: 06
QUANTITY: ADD 2 FOR STUDIO OPTION
SOLID HARDWOOD DOORS
LEFT TURNING: 03
RIGHT TURNING: 03 (02 ON STUDIO)



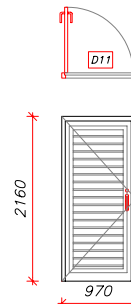
DOOR TYPE: D8
QUANTITY: 05
SOLID HARDWOOD DOORS
LEFT TURNING: 02
RIGHT TURNING: 03



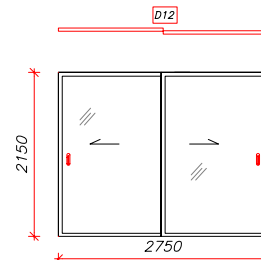
DOOR TYPE: D9
QUANTITY: 02
HARDWOODEN LOUVER DOOR
LEFT TURNING: 01
RIGHT TURNING: 01



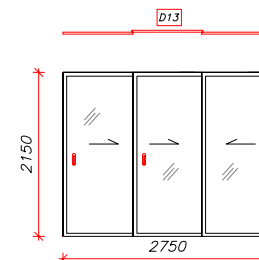
DOOR TYPE: D10
QUANTITY: 02
HARDGLASS DOORS (NO FRAME)
HARDWARE ON GLASS
LEFT TURNING: 01
RIGHT TURNING: 01



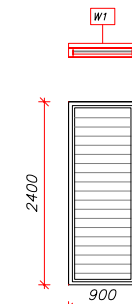
DOOR TYPE: D11
QUANTITY: 01
ALUMINUM FIXED LOUVERED DOOR
LEFT TURNING: 01



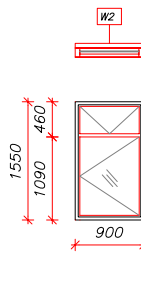
DOOR TYPE: D12
QUANTITY: 01
2-PANE ALUMINUM SLIDING DOOR
MIRRORED PANEL INSERT
RECESSED HANDLES FOR OPENING AND CLOSING



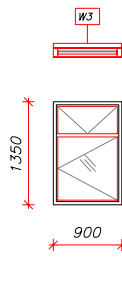
DOOR TYPE: D13
QUANTITY: 02
3-PANE ALUMINUM SLIDING DOOR
MIRRORED PANEL INSERT
RECESSED HANDLES FOR OPENING AND CLOSING



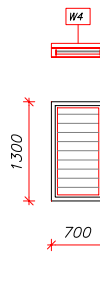
WINDOW TYPE: W1
QUANTITY: 01
ALUMINUM LOUVERED PANEL
LEVER SHAFT OPERATOR
INCL. MOSQUITO SCREEN



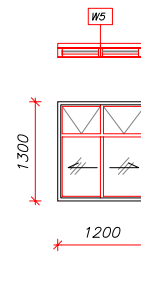
WINDOW TYPE: W2
QUANTITY: 01
ALUMINUM FRAME GLASS WINDOW
TOP PART W/ MOSQUITO SCREEN



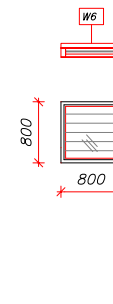
WINDOW TYPE: W3
QUANTITY: 01
ALUMINUM FRAME GLASS WINDOW
TOP PART W/ MOSQUITO SCREEN



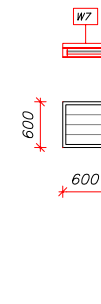
WINDOW TYPE: W4
QUANTITY: 02
ALUMINUM LOUVERED PANEL
LEVER SHAFT OPERATOR
INCL. MOSQUITO SCREEN



WINDOW TYPE: W5
QUANTITY: 02
ALUMINUM FRAME GLASS WINDOW
TOP PART W/ MOSQUITO SCREEN
BOTTOM PART SL. WINDOW W MOSQ. SCREEN



WINDOW TYPE: W6
QUANTITY: 03
ALUMINUM LOUVERED PANEL
LEVER SHAFT OPERATOR
INCL. MOSQUITO SCREEN
CONTRACTOR TO SUPPLY STICK W/ LOOP
TO OPERATE LEVER



WINDOW TYPE: W7
QUANTITY: 01
ALUMINUM LOUVERED PANEL
LEVER SHAFT OPERATOR
INCL. MOSQUITO SCREEN

GENERAL NOTES:

1. ALL HARDWARE TO BE STAINLESS STEEL FOR EXTERIOR DOORS AND WINDOWS
2. ALL HARDWARE TO BE OF NON-CORROSIVE TYPE FOR INTERIOR DOORS
3. HURRICANE PROTECTION ON ALL EXTERIOR WINDOWS AND DOORS IS OPTIONAL
4. ALL CLOSETS IN THE LEVEL 1 BEDROOMS WILL HAVE MIRRORED SLIDING DOORS SIMILAR TO MODEL D13 (INDICATED ON FLOOR PLANS)



ENGINEERING
&
DESIGNSERVICES

Tel/Fax: 011-599-542-2779
E-mail: EDS@pointmaarten.net

POINTE ESPRIT RESIDENCES
L. van Beethoven Rd., Cay Hill, St. Maarten, NA

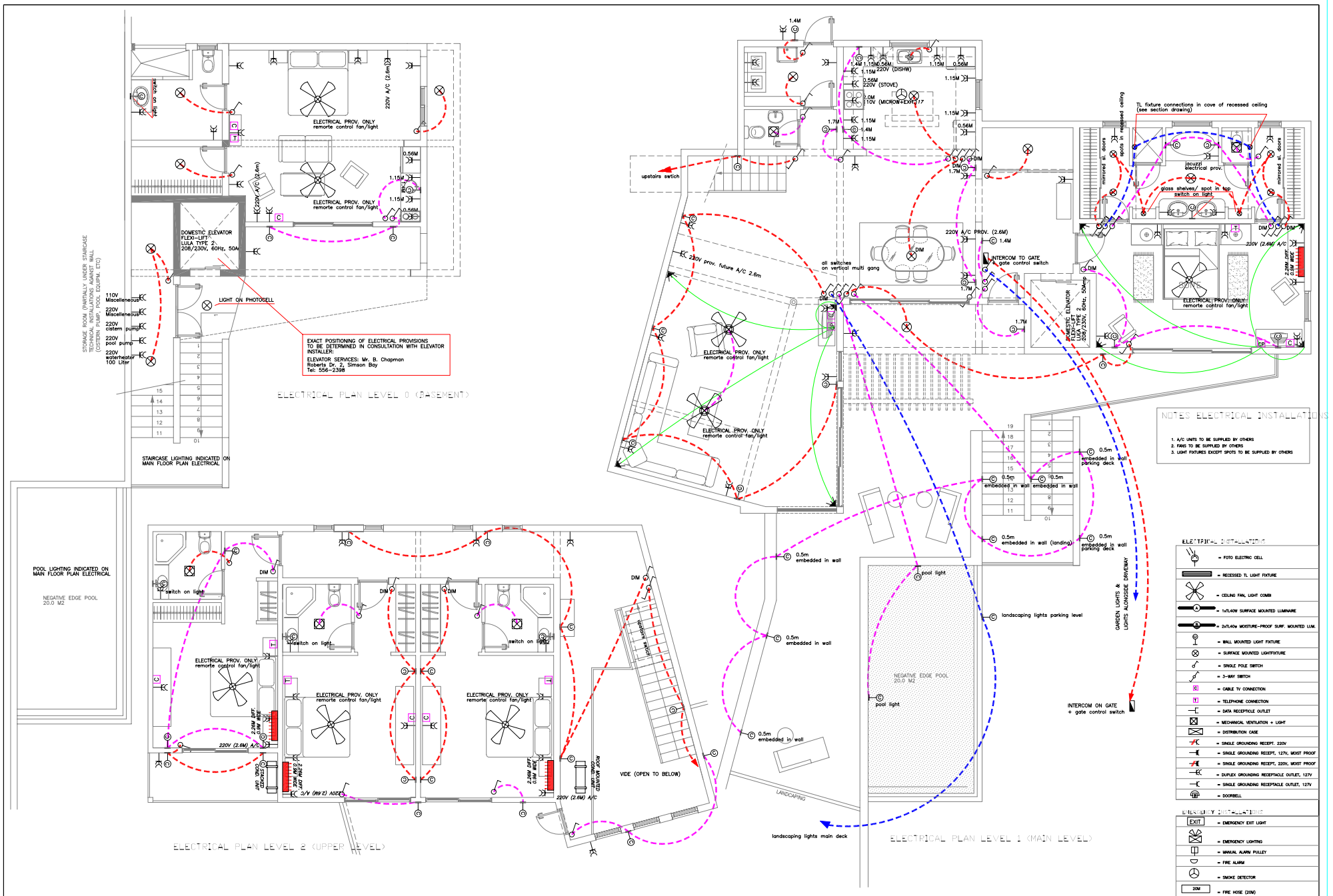
Principal:
Mr. R. Neuss
Date:
May 2005

Scale:
1:50








Subject:
WINDOWS & DOORS
SCHEDULE

Rev. A
-
Rev. B
-

DWG. no.:
A-08

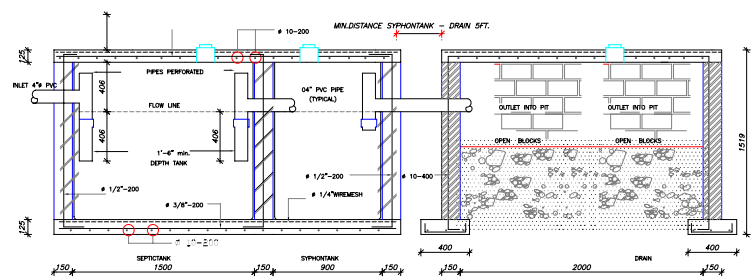




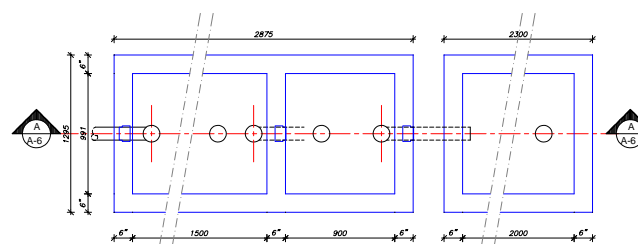
PLUMBING INSTALLATIONS	
	= FLOOR DRAIN
	= CLEAN OUT
	= 4" SEPTIC LINE
	= 3" GREY WATER
	= 4" RAIN WATER
	= HOT WATER
	= COLD WATER

RAIN WATER COLLECTION LINES

1. CONTRACTOR TO SUPPLY AND INSTALL 4" ALUMINUM GUTTERS
2. CONTRACTOR TO SUPPLY AND INSTALL DOWNSPOUTS IN LOCATIONS INDICATED
3. ALL DOWNSPOUTS TO BE INTEGRATED IN WALLS
4. OVERFLOW CISTERN TO DRAIN TO SURFACE



SEPTIC TANK



General Specifications*
Pointe Esprit Residences
Lower Beethoven Road, Cay Hill

Date: July 2005

General Notes:

- The basic home basement level 'guest suite' will not be constructed as drawn unless the Buyer agrees to purchase it as an option. The area will be finished as a car-port. The contractor will provide roughing for basic electrical and plumbing fixtures as indicated on the plans. (no telephone, cable and kitchen outlets). Partition walls for walk-in closet and bathroom to be excluded. The rear wall, sliding door, and balcony are excluded.
- In deviation to the plumbing drawings the plumbing system will not be separated in gray and black water lines. No cistern will be built unless the Buyer agrees to purchase it as an option.
- Contractor will provide all electrical provisions only for elevator shaft in accordance with instructions by the elevator supplier (see drawings). Elevator will be installed by elevator supplier if purchased by the Buyer as an option.
- The contract shall include a allowance of US\$20.00,/m2 for the supply of floor tiles. Total amount shall be included in quotation (No tiles in utility room).
- Likewise for wall tiles an allowance of US\$ 20.00/m2 shall be included in the quotation. For bathrooms assume 25x35cm tiles up to doorframe.
- For the kitchen an allowance of USD 15.000, - shall be included in the contract sum
- Quote for two (2) alternate exterior railing options. Option 1 will be a combination of aluminum and glass as indicated on the elevation drawings. Option 2 will be aluminum only. Both options subject to Developer's approval.
- The interior staircase -and vide railing will be a hardwood railing with 'contemporary' banisters (no cluttered styles) and subject to Developer's approval.
- Contractor related activities for the pool are limited to the construction of the inner retaining/pool wall and providing the electrical lines for the pool lights. Pool construction and installations by selected subcontractor (Contractor may quote separately for complete pool construction and installation).
- Contractor to separately quote for the construction of a rock wall retaining wall on the pool deck level. Approx. length and height of RT wall according to location and elevation plans. Quote shall also include concrete retaining walls indicated on the East & North elevations specifically alongside the driveway, behind the kitchen, and North of the pool.
- Contractor to quote for the construction of a painted wooden pergola as indicated on the projected roof plans (3x6 rafters @ 16" centers).
- In addition to the drains indicated on the plans, the contractor shall provide wall enclosed drains for all indicated A/C units (Drains to tie into drainage system).

Sanitary Areas:

- All sanitary installations shall be American Standard (or .equal).in quality. The master bathroom will have a wall mounted toilet. Both the shower cubicle and the toilet cubicle will have a hard glass door with no frame (hinged from wall). The partition walls shall be entirely tiled. Contractor to include an allowance of USD 1.800.00 for the supply of a Jacuzzi-tub. Installation by contractor.
- The master bathroom closets shall consist of 2- 16' wide shelving parts (one on each side of the closet), with the balance made up of a hanging section. The doors shall be mirrored sliding doors.
- The Laundry room shall have a mop sink and include all provisions for a washer and dryer as indicated
- All level 1 bedrooms shall feature a 3' circular shower cubicle with glass sliding doors to optimize space. Contractor to quote for the assembly and installation of principal supplied cabinets, sinks, mirrors and faucets for these 3 bathrooms. Other bathrooms by contractor.

Windows and Doors:

- All Windows and doors shall be high quality aluminum frames and glass according to the dimensions shown. (Quality of aluminum to be Samiver, Rolling System, Tecalu or similar with a 125mph warranty supplied by the installer). All sliding doors as well as the entrance door on the main floor level are 2.4m high. All other sliding doors are 2.15m. A door- and window schedule will be provided.
- All Aluminum louvered panel windows shall have lever shaft operators (no cranks) and mosquito screens
- Utility Room doors will not be executed as drawn. Instead a single (0.93x2.1m) aluminum door with louvered panel for ventilation will be installed.
- All hardware on exterior doors to be Stainless Steel. Interior hinges: Galvanized Steel
- All interior doors. Hardwood panel doors with non-corrosive hardware.
- Kitchen and Master bathroom windows to be sliding panels for the lower section (incl. mosquito screens). Upper section to open as indicated.

Roofing Materials:

- Flat roof over vide to be finished with a bituminous layer and a reflective coating (Soprema ,or equal).
- Flat roof over dining/kitchen + miscellaneous balconies to be tiled as indicated.

Electrical & A/C installation:

1. Contractor to provide GEBE meter-wall according to GEBE requirements for each villa. Each villa shall have a 200 Amp Square D panel box (or equal). Installation of main cable from meter wall to panel box to be included in quotation.

2. Quotation to include wiring for all provisions listed on the electrical plans. This includes 220V connections for A/C's, pumps and the water heater. Different groups to be provided for Microwave, A/C, Pumps, Water heater, Refrigerator, Stove, Dishwasher and Washer/Dryer.
3. Contractor to include provision for the installation only of Buyer supplied light fixtures, fans, dishwasher, refrigerator etc.
4. In principle all appliances including A/C's and lighting fixtures will be provided by the Buyer. Contractor supplied light fixtures are limited to the recessed spots in the master bathroom and closet area as well as the recessed stairwell lights and wall mounted exterior patio lights. Dixie square stair light. (<http://www.lightson.co.nz/contemporary-outdoor-lighting-fixtures.asp>).

Drainage:

1. The galvanized steel roofs will have downspouts that are integrated into the walls and will be routed towards the indicated cistern location. No water shall be drained to the surface.
2. The gutters around the roof edge will be 100mm aluminum gutters.
3. Depending on the soil conditions the soak-away may be executed in the form of a drain field.
4. Planters indicated on the site plan will be limited to a small boundary wall on the main pool deck (see drawing). Planters around the pool will be part of the pool contractors scope.
5. All Decks shall be properly drained away from door openings. Exact location of drains to be discussed with architect

Painting/Renderings:

1. The entire exterior facade of the ground floor and upper floor will be finished with a relief paint Durock (or equal). in the color indicated by the Buyer.
2. Interior to be finished with a primer and a single coat of paint.

* General Specifications are subject to change.

STANDARD KITCHEN PLAN

The standard home plans call for inclusion of a \$15,000 allowance for provision of cabinets and appliances in the kitchen. This allowance has been included in the price of the home and is adequate to pay for the cabinets and appliances shown with shipping to the site.. However, provision has been made to allow the home buyer to customize the kitchen cabinetry and appliances to suit individual tastes.

The cabinetry and appliances (or equal) shown here can be installed with the proposed \$15,000 budget allowance if so desired by the home buyer. Changes in cabinetry and appliances can be made by the homeowner, with the understanding that the costs above the \$15,000 budgeted amount will be at additional cost to the home buyer..

The budgeted standard kitchen will provide all stainless steel finish appliances including side by side refrigerator, range/oven, microwave/vented range hood and dishwasher. All cabinetry will be hardwood construction (no particle board), with stainless hardware. Cabinetry includes L-shape floor-mounted and wall-mounted cabinets as configured in plans as well as a centered island with bar seating for two. A two bay stainless steel sink/faucet is included.

See attached appliances specification sheets for refrigerator, range/oven, microwave/range hood and dishwasher. Plan and profile detail drawings for standard cabinetry are attached as well shown as well. The standard cabinets are from the Diamond Reflections collection manufactured by Masterbrand Cabinets.