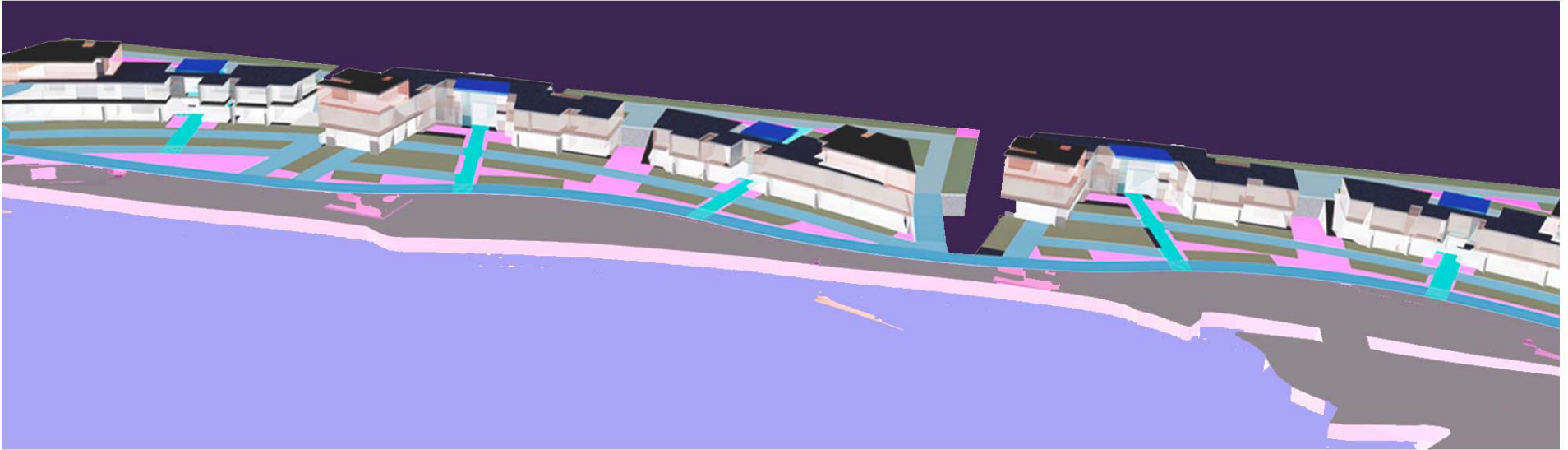


Pointe Esprit Office Park

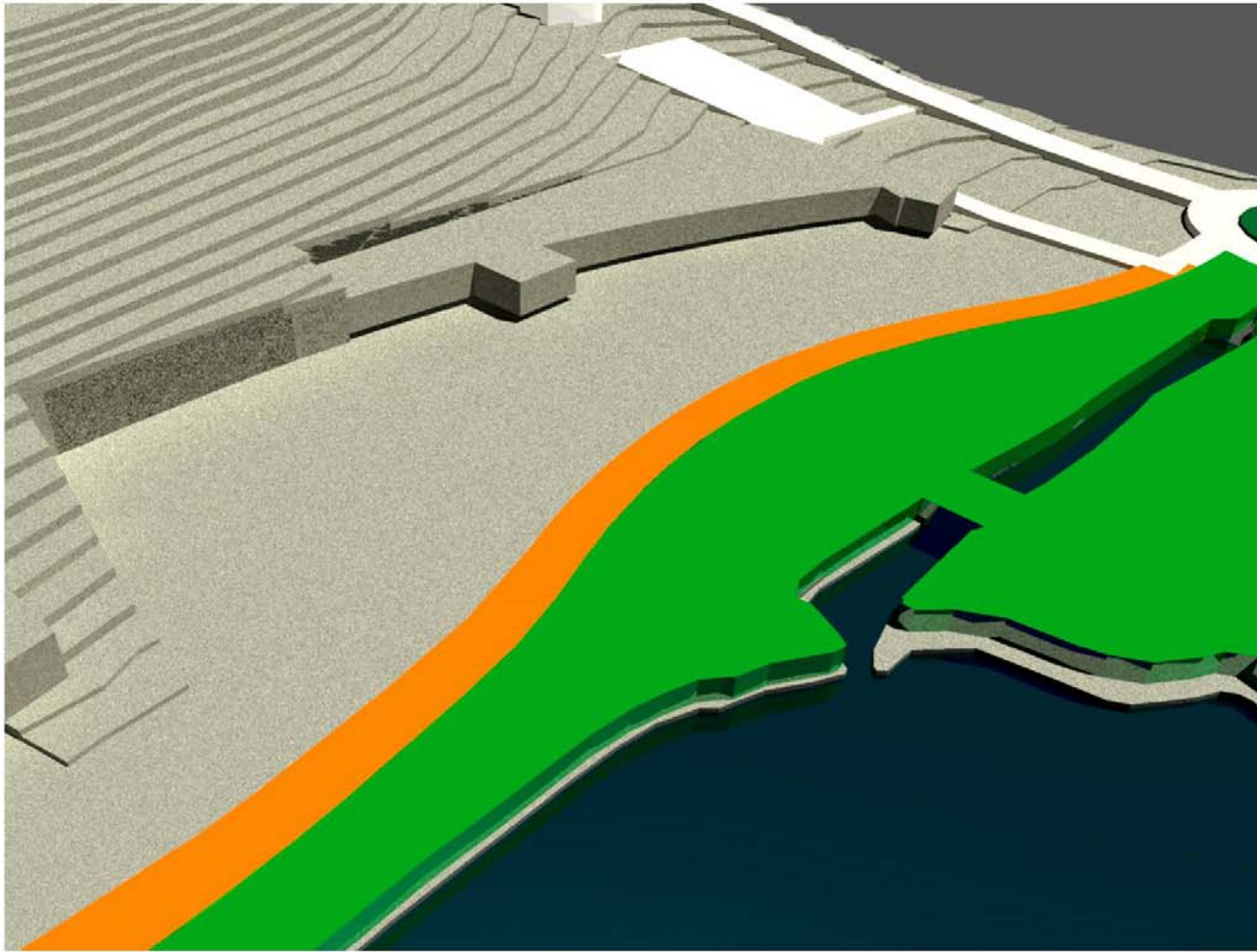
concept design presentation



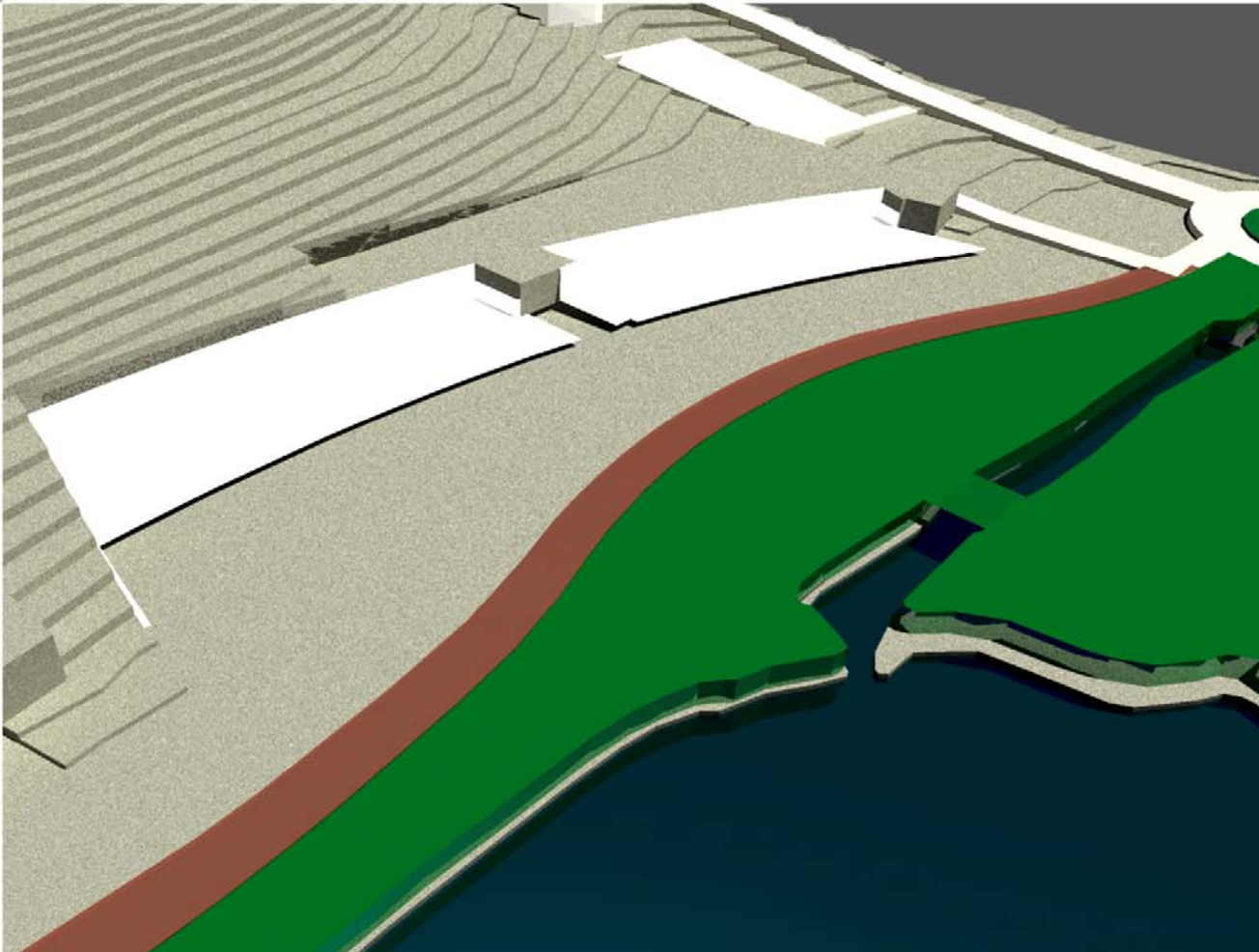
ENGINEERING & DESIGN SERVICES

studiomart
architectural design

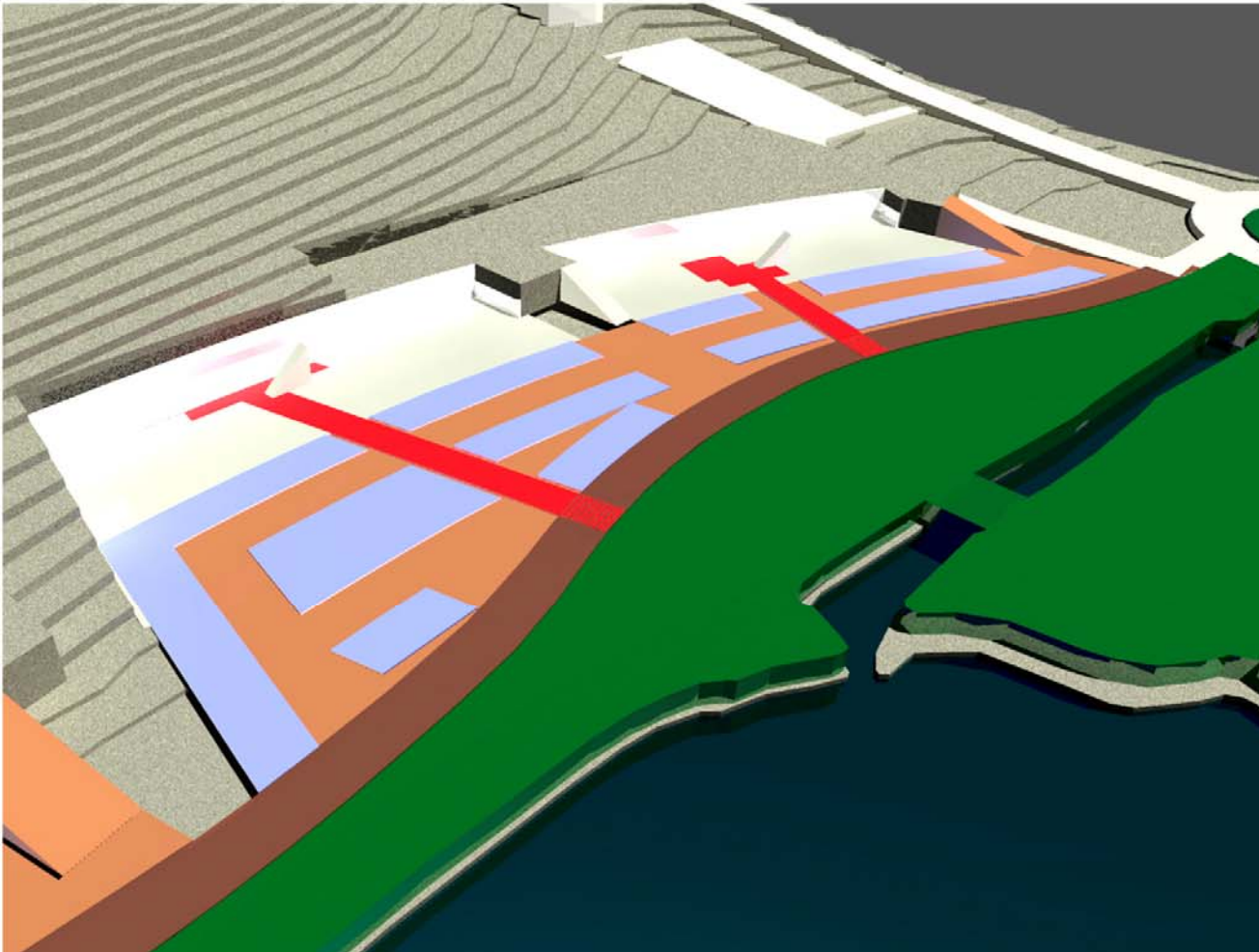
01



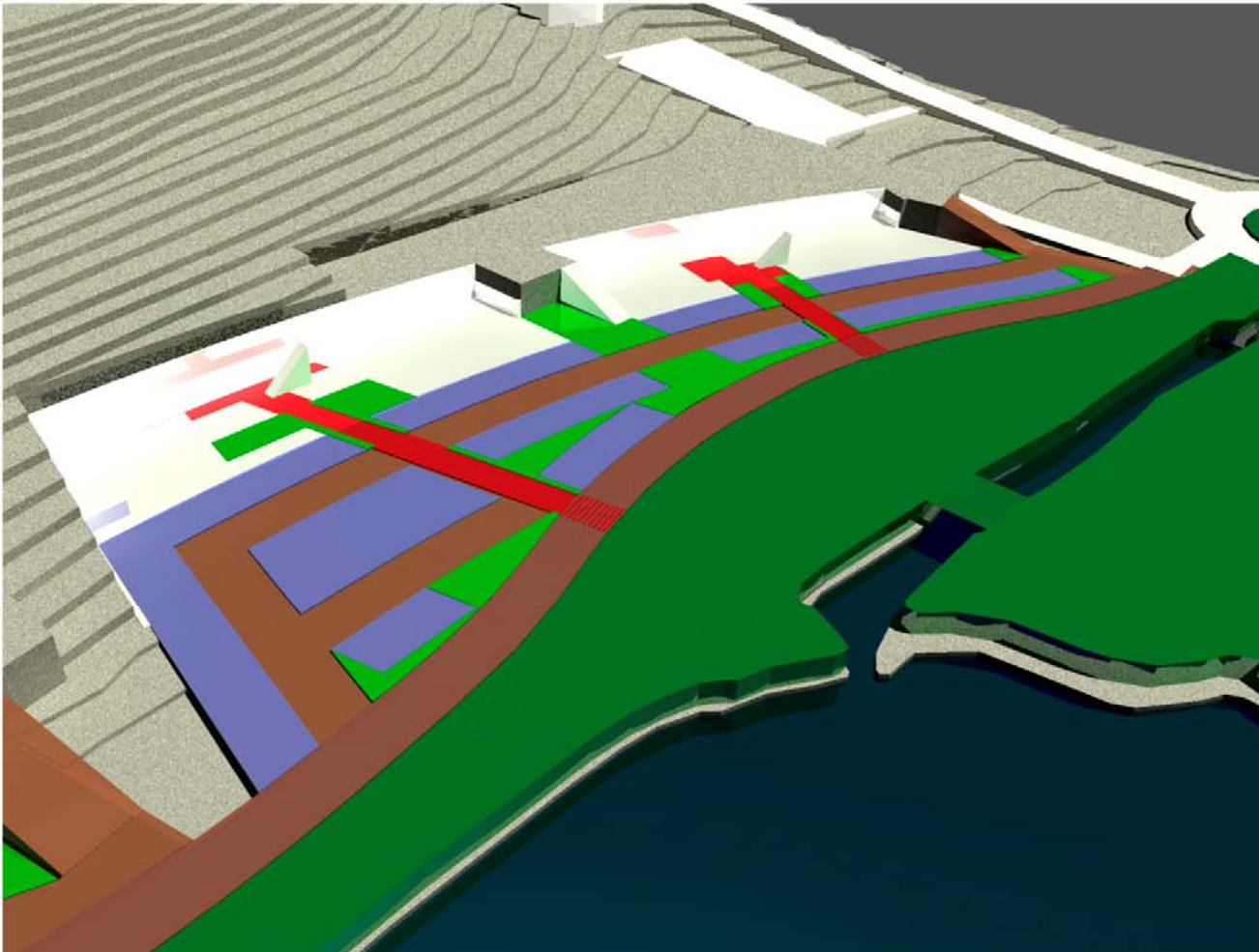
The main access road to the office park has a curved shape and moves alongside the protected mangrove bushes lining the Little Bay Pond. Because of the curved shape of the access road . The curved shape of the access road effectively creates a 'buffer zone' which diminishes the environmental impact of construction activities on the nature reserve to the East. The 'buffer-zone' will be designed as a park which serves as a complimentary feature to the public in general and to the users of the office park specifically. The area to the West of the access road will be used to create parking facilities. Alongside the road a hiking trail is envisioned which will guide pedestrians to the Little Bay Beach



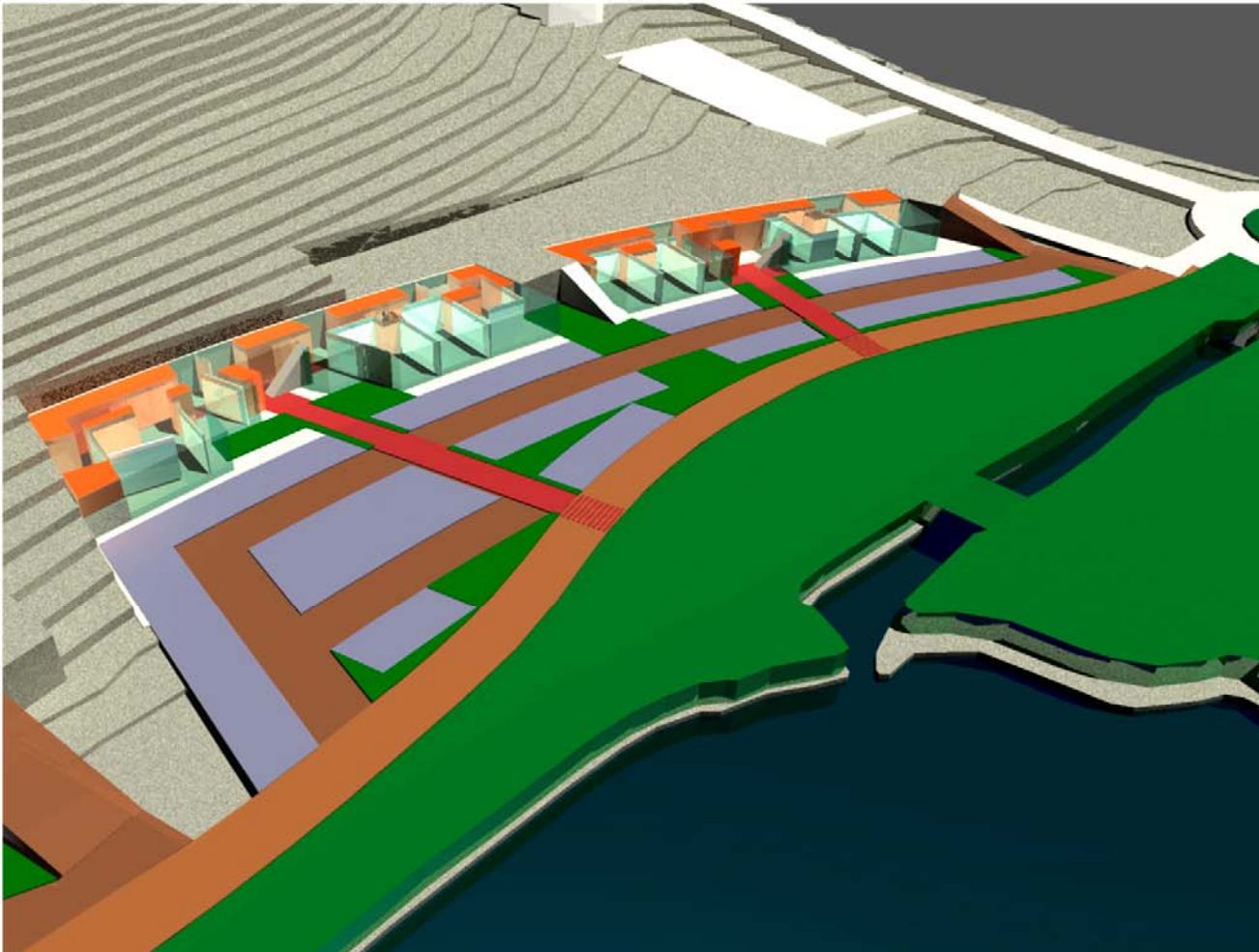
The Building Volumes are projected in the same ascending and descending line as the curves of the access road. This is done to increase the bufferzone between the little Bay Pond and the Office Park without diminishing the actual size of the individual lots. As a result of the curved shapes interesting lines of sight are created for those approaching the buildings as well as those focussing attention on the greenery of the park



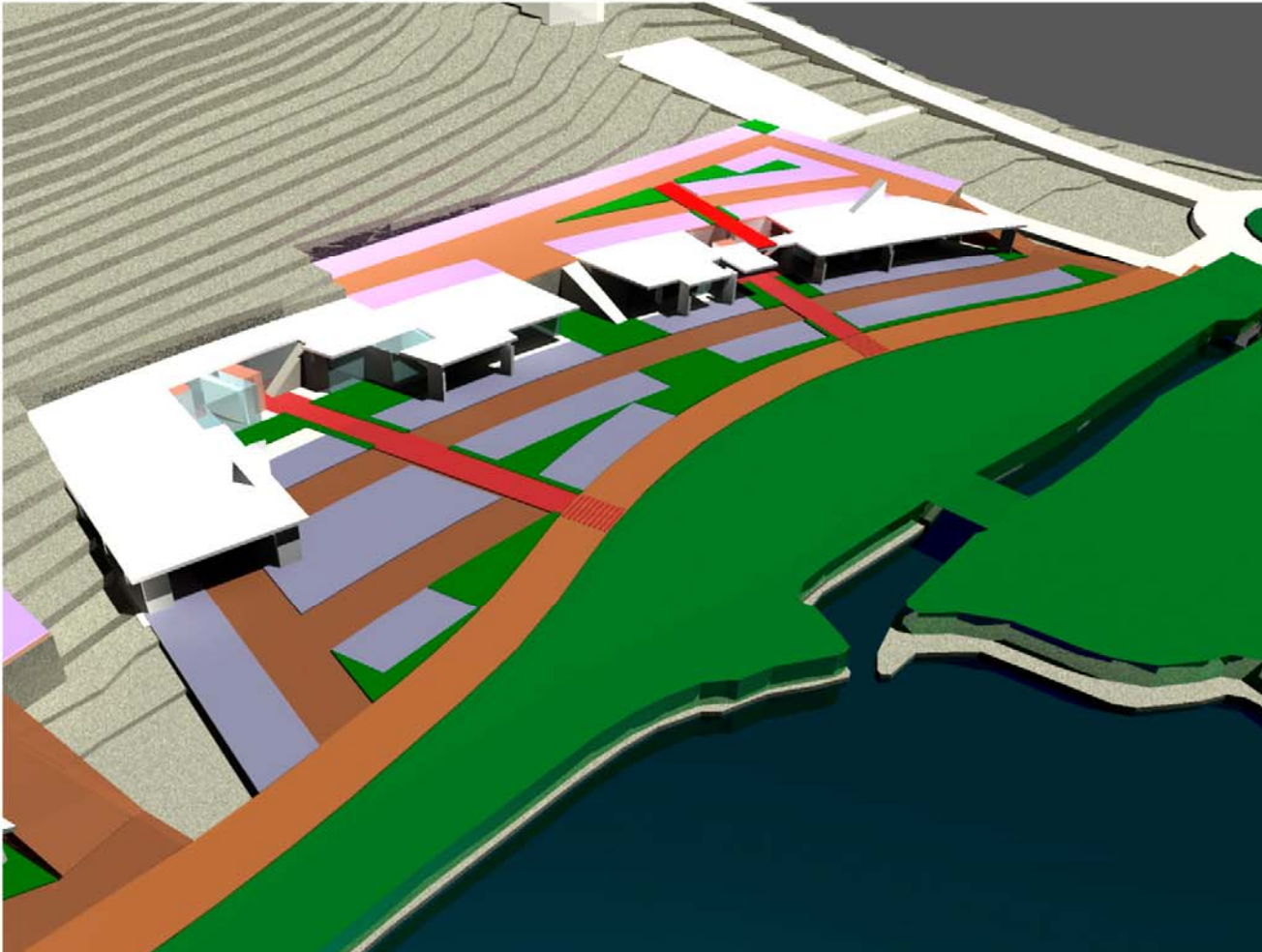
The main building Volume is divided into two separate buildings. In both buildings there will be a main axis leading straight down from the Entrance areas to the Park. These grid lines serve to divide the parking area into smaller segments and will be designed as lanes that run perpendicularly through the parking area to the Green zone. The parking lot itself also follows the curves of the access road.



To break-up the large parking surfaces into smaller segments, the parking area will be designed to include small pavilions. This will create a more intimate environment. In addition the pavillions will allow us to choose vegetation that enforces the visual relation between the park and the parking lot. These measures further serve to diminish the 'hard transition' between the buildings and their environment.



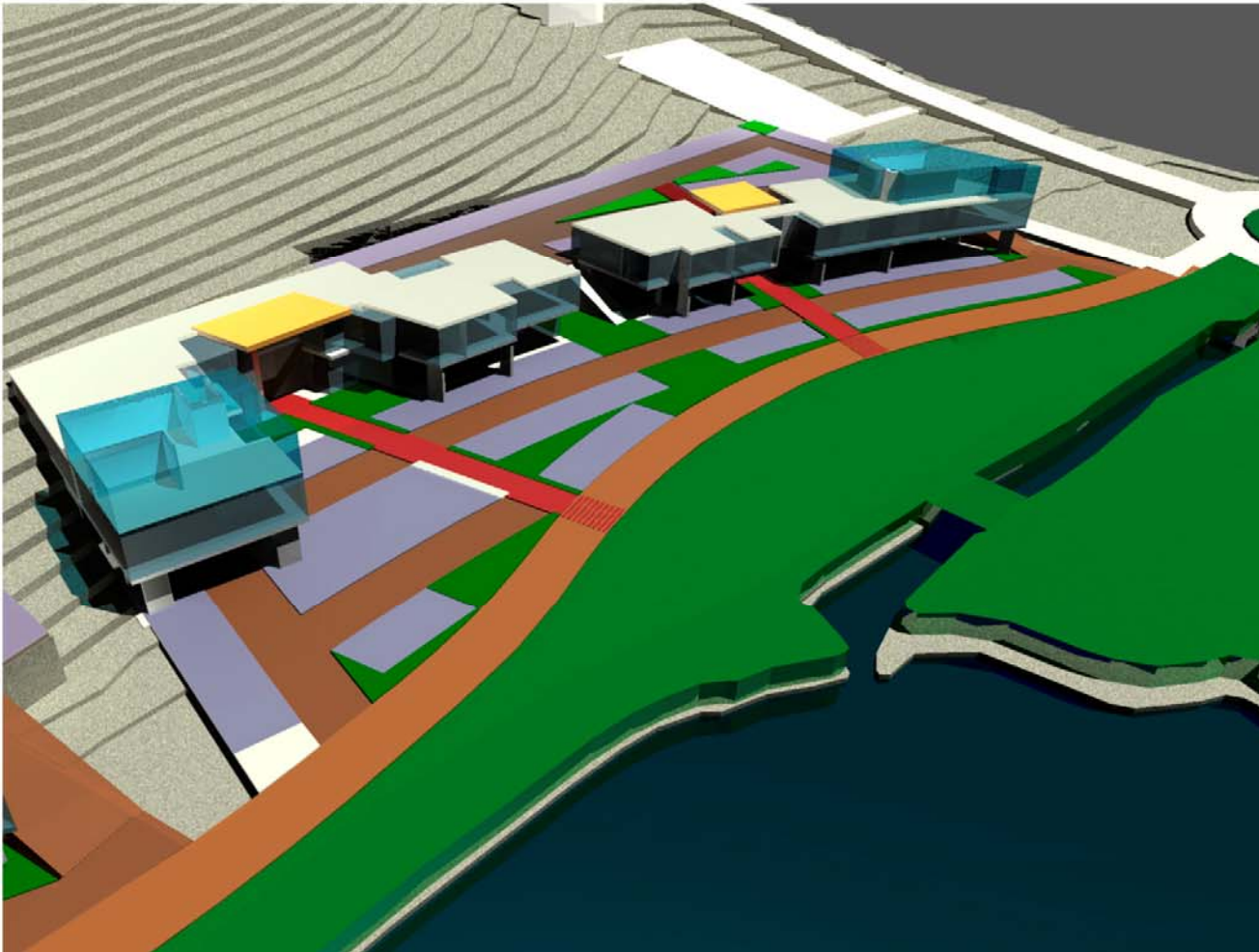
The office functions on the Ground Level are directed towards the Parking Area and the Little Bay Pond. The entrance areas are transparent and are positioned within the main Volume. The main grids thus create a playful transition between the exterior and the interior of the building. The goal will be to continue the greenery alongside the main grids right inside the entrance area.. The entrances of the buildings will have an open Character divided over two Levels.



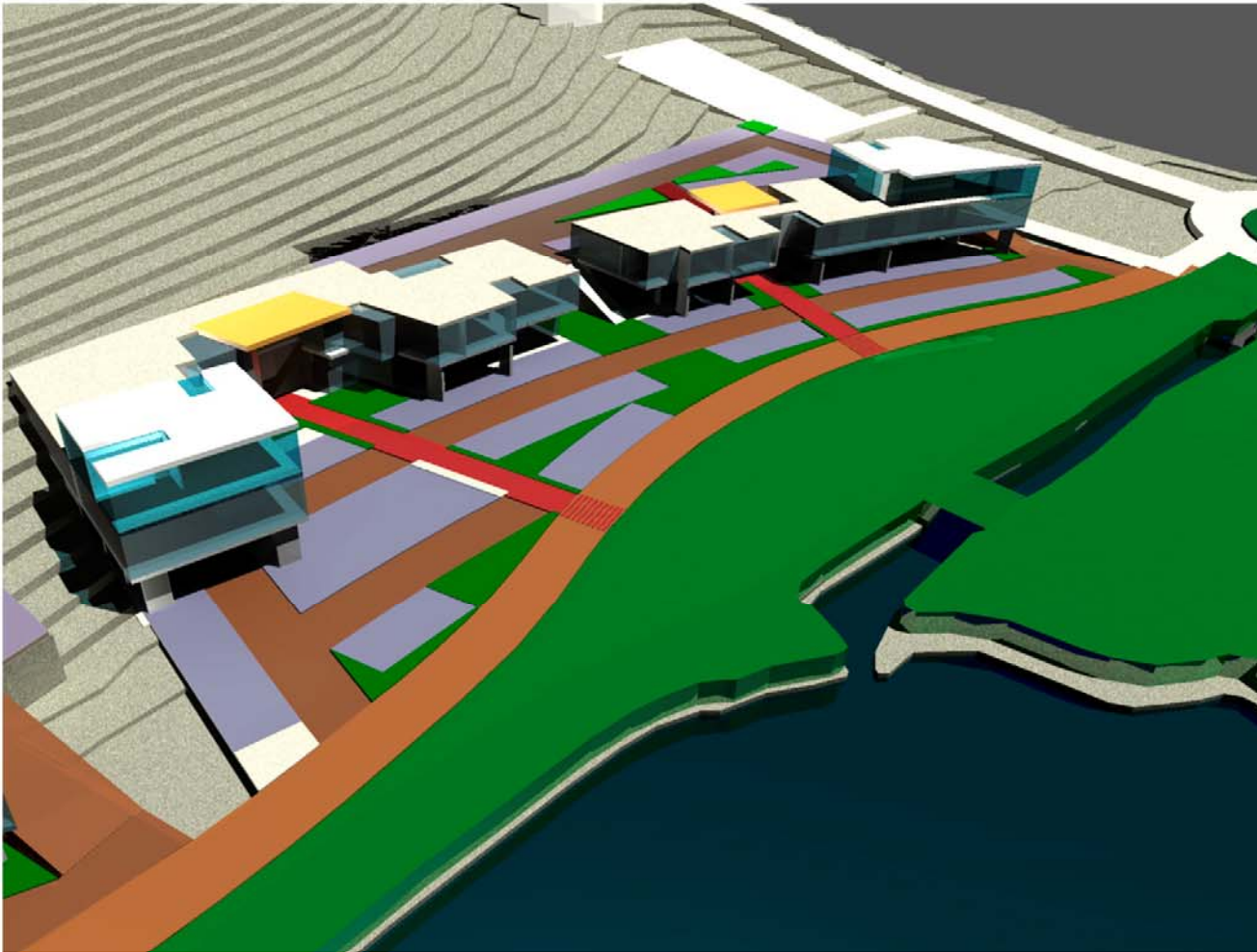
On the upper levels of the different buildings (Level 01) a parking deck will be created. This deck will be positioned at the same height as these upper levels thereby creating a secondary 'same-level' entrance. The parking deck itself will be made accessible by means of a ramp which is positioned at the Lower NE corner of the building. From the parking deck an elevated grid will be created, flowing over into the lower floor main grid thus providing an excellent line of sight over the Park and the Little Bay Pond.



The upper level extends beyond the limit of the facade of the lower level. This has been done to provide shade to the lower level offices while at the same time a creating a covered corridor. An exterior ramp connects the upper parking deck with the lower parking area and the Park.

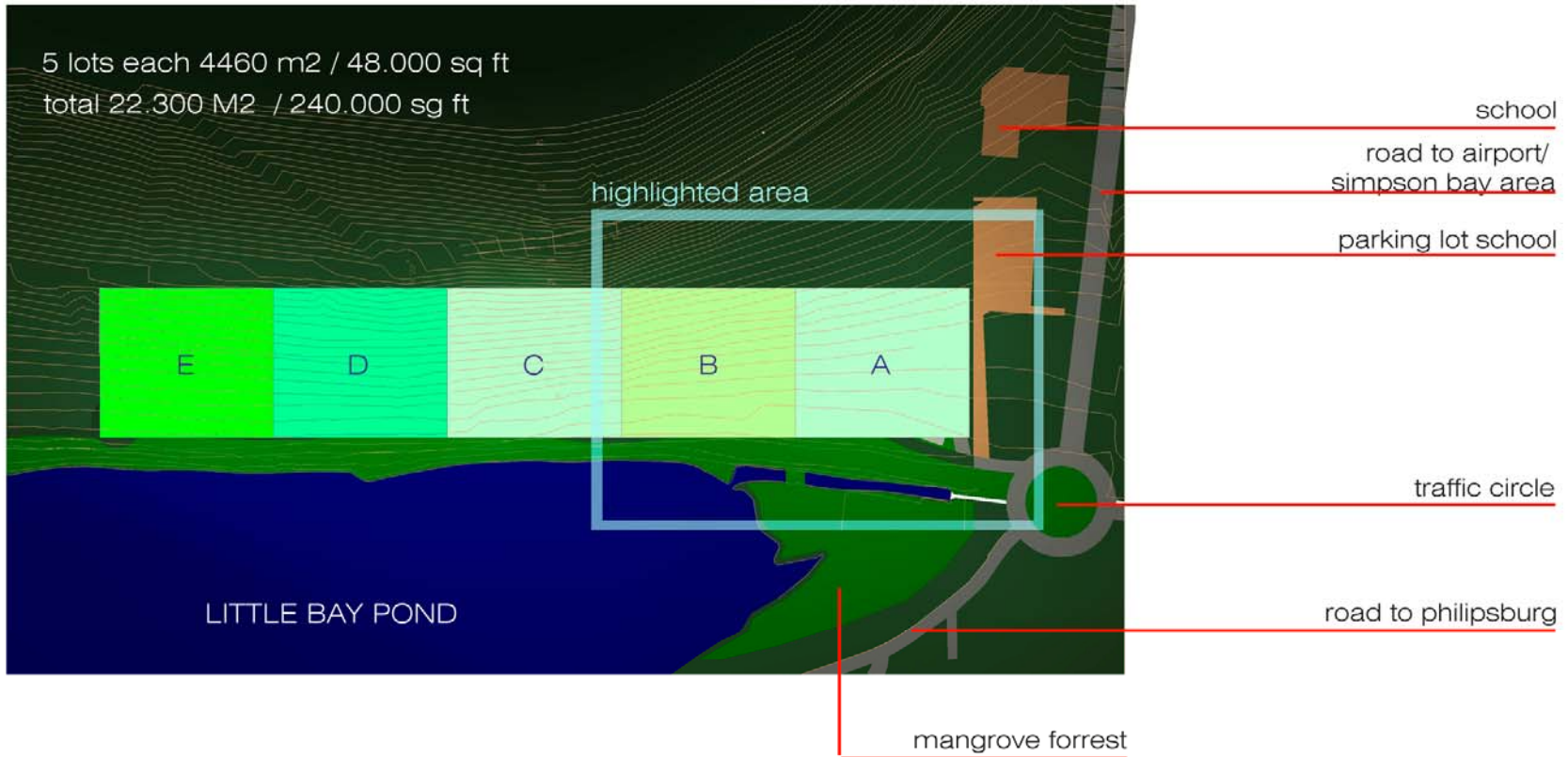


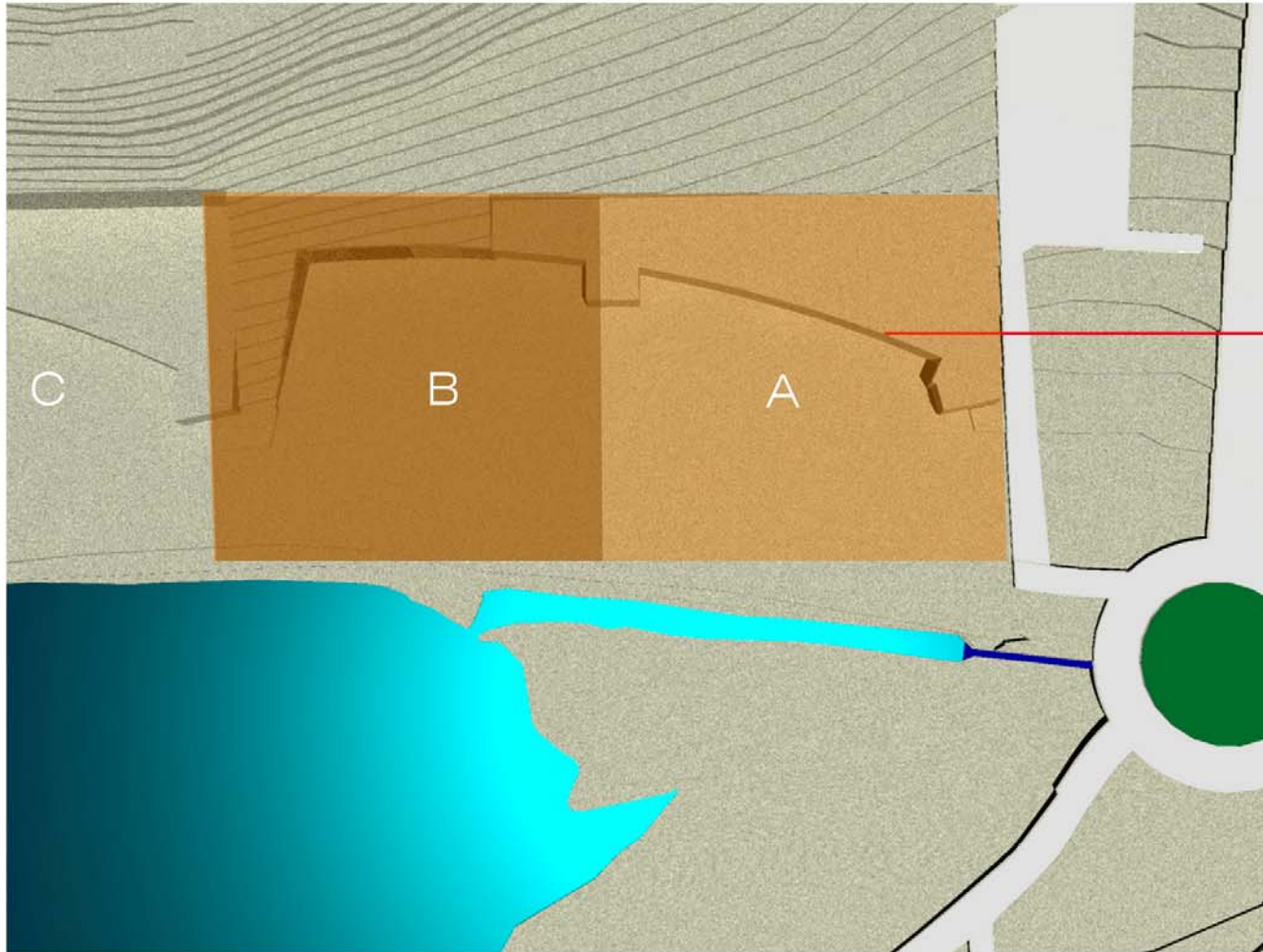
On both extremities of the buildings a 2nd level has been projected. This 2nd Level will serve as a beacon defining the building in its environment. The facades will be opened by means of light corridors causing the main volume to have a fragmented appearance. This will enhance the overall appearance of the buildings especially as they are at the base of the valley, visible to all surrounding homeowners.



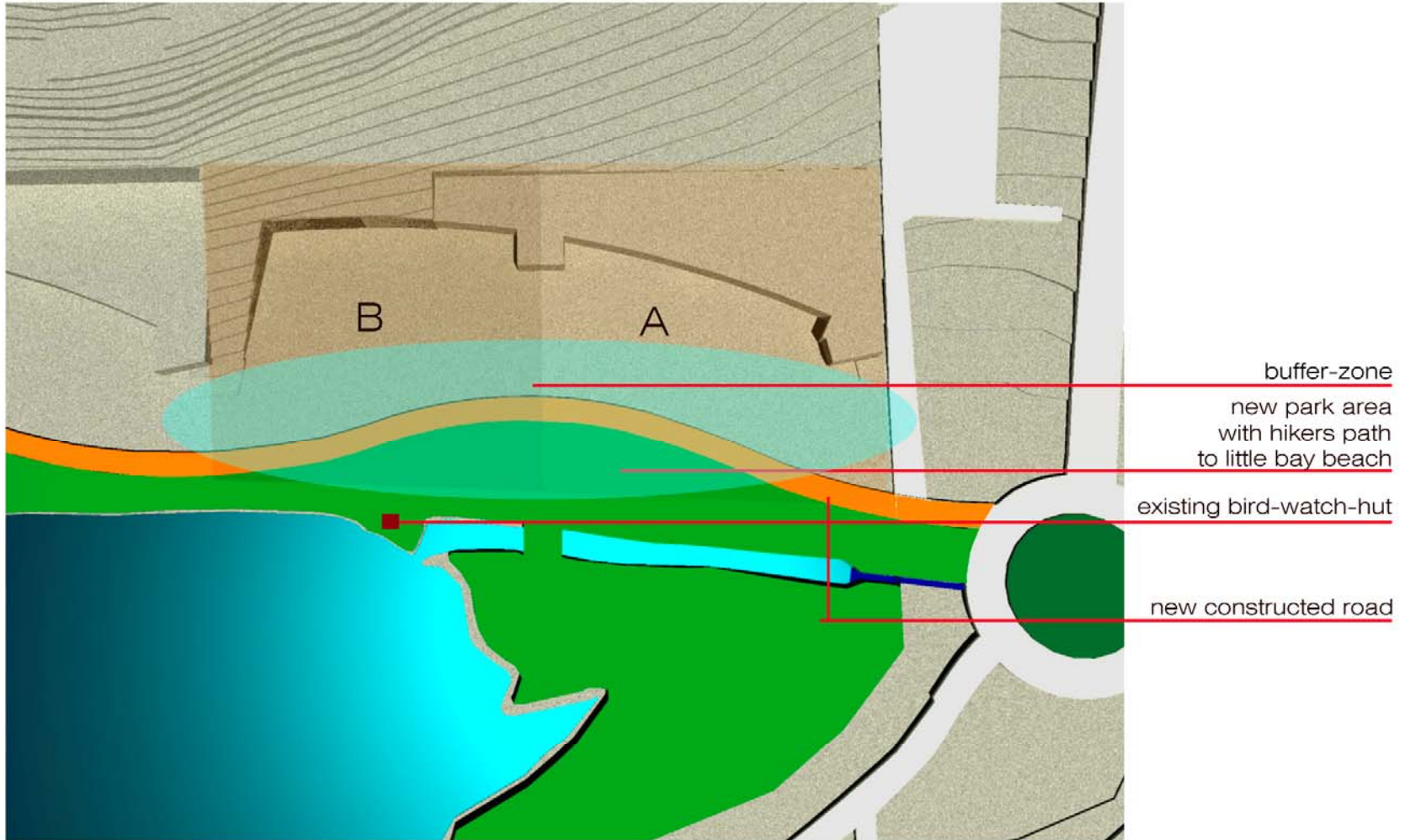
The isolated protruding upper levels can be designed as luxury offices, joined lounges or board-rooms with a view over the park and the Little Bay Pond. The roofsurfaces are also fragmented by means of light corridors. In the proposal the main roof is further enhanced by a possible roof terrace, including greenery.. This area can also be used as a raised outdoor patio and enhances the overall architectural appeal, especially for those approaching the building from the access roads.

The area that is to be developed consists of 5 connected lots, each having an average area of 4.460 m² / 48.000 ft². The lots are located on the Westbank of the Litte Bay Pond and immediately South of the 'Learning Unlimited' School . Further the lots have a direct connection to the main traffic artery between Philipsburg and The Simson Bay area.

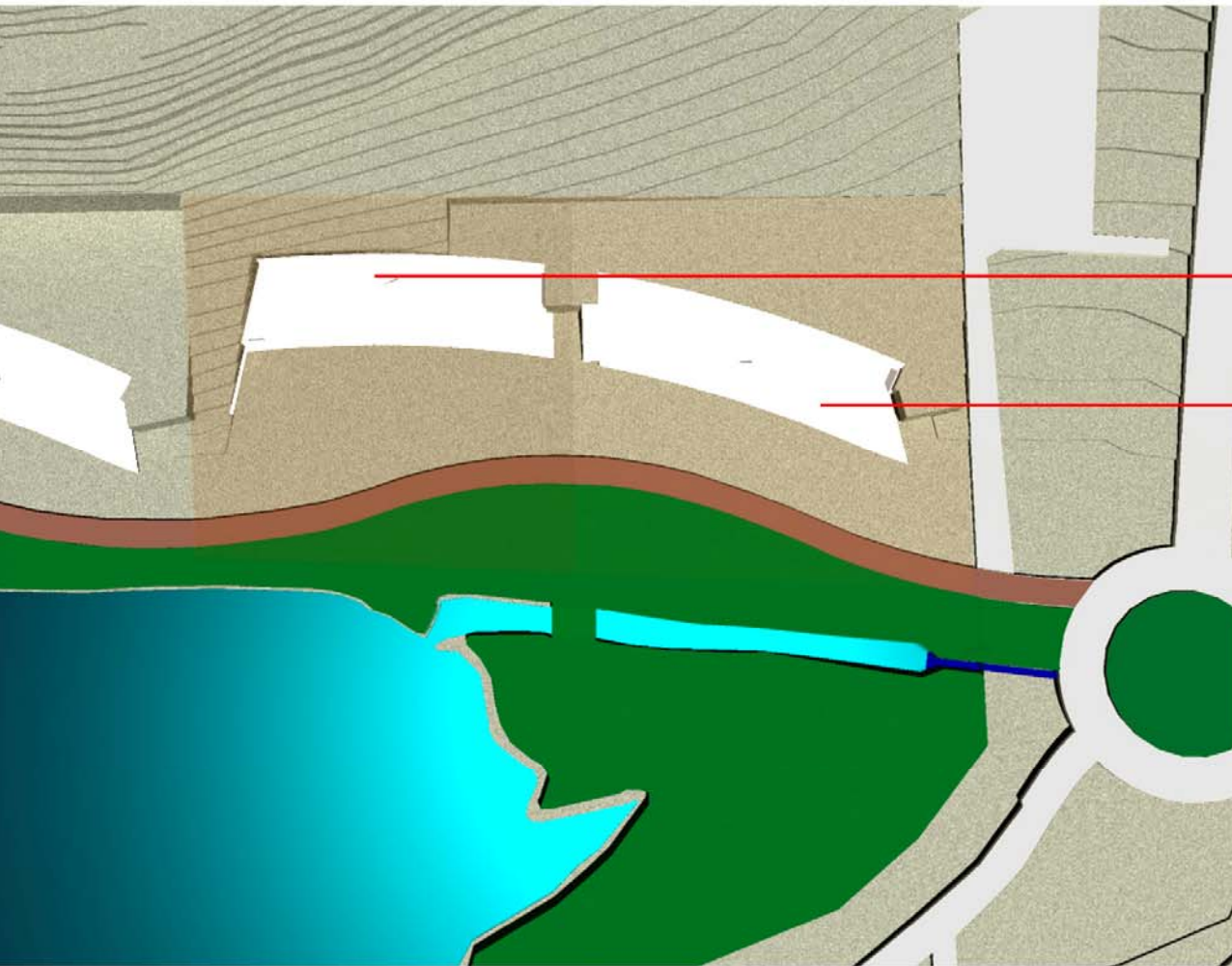




lot A,B,C,D and E
236' deep
203'wide



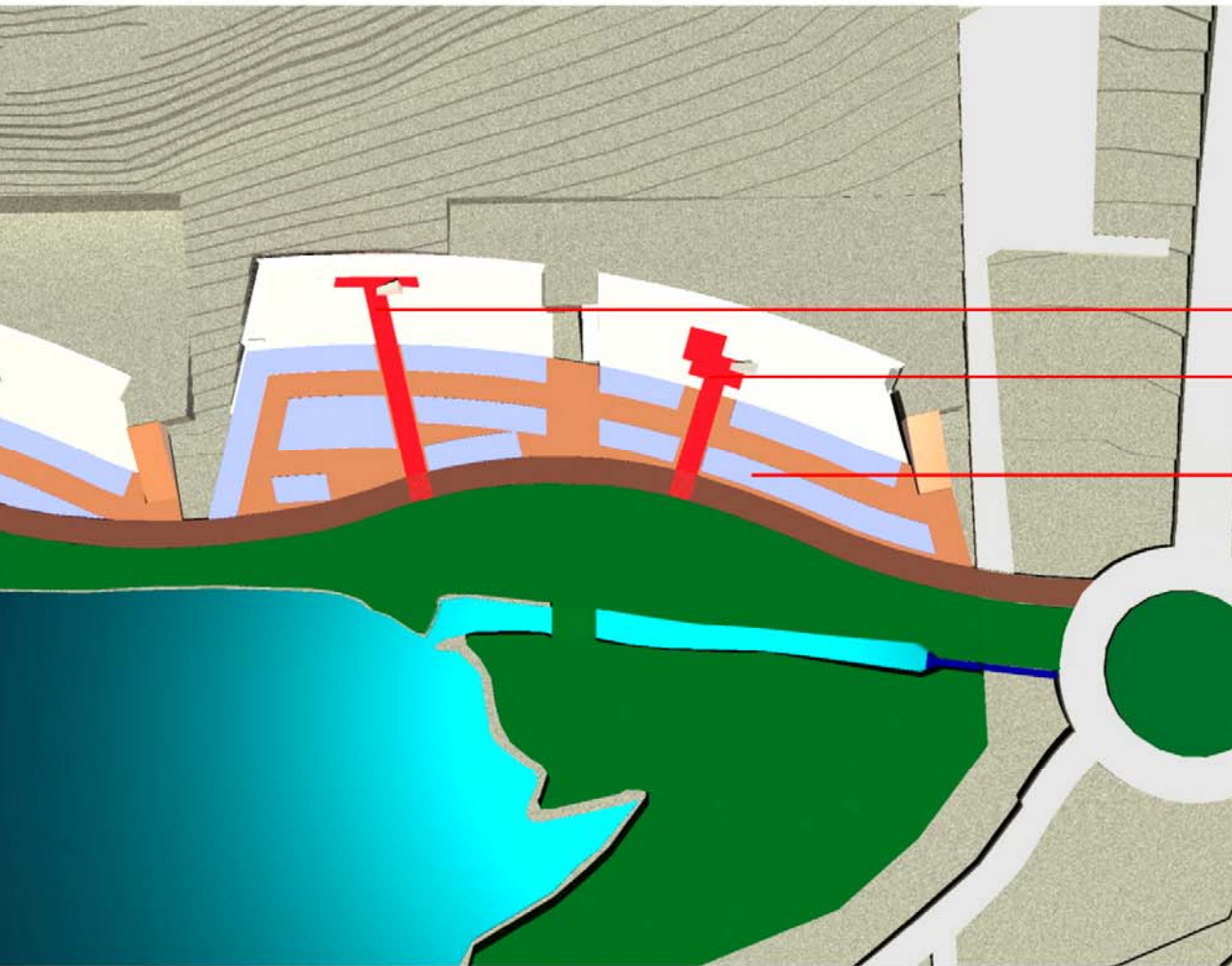
GROUND FLOOR LEVEL



ground floor
building B
730 m²
7850 sq ft

ground floor
building A
790 m²
8500 sq ft

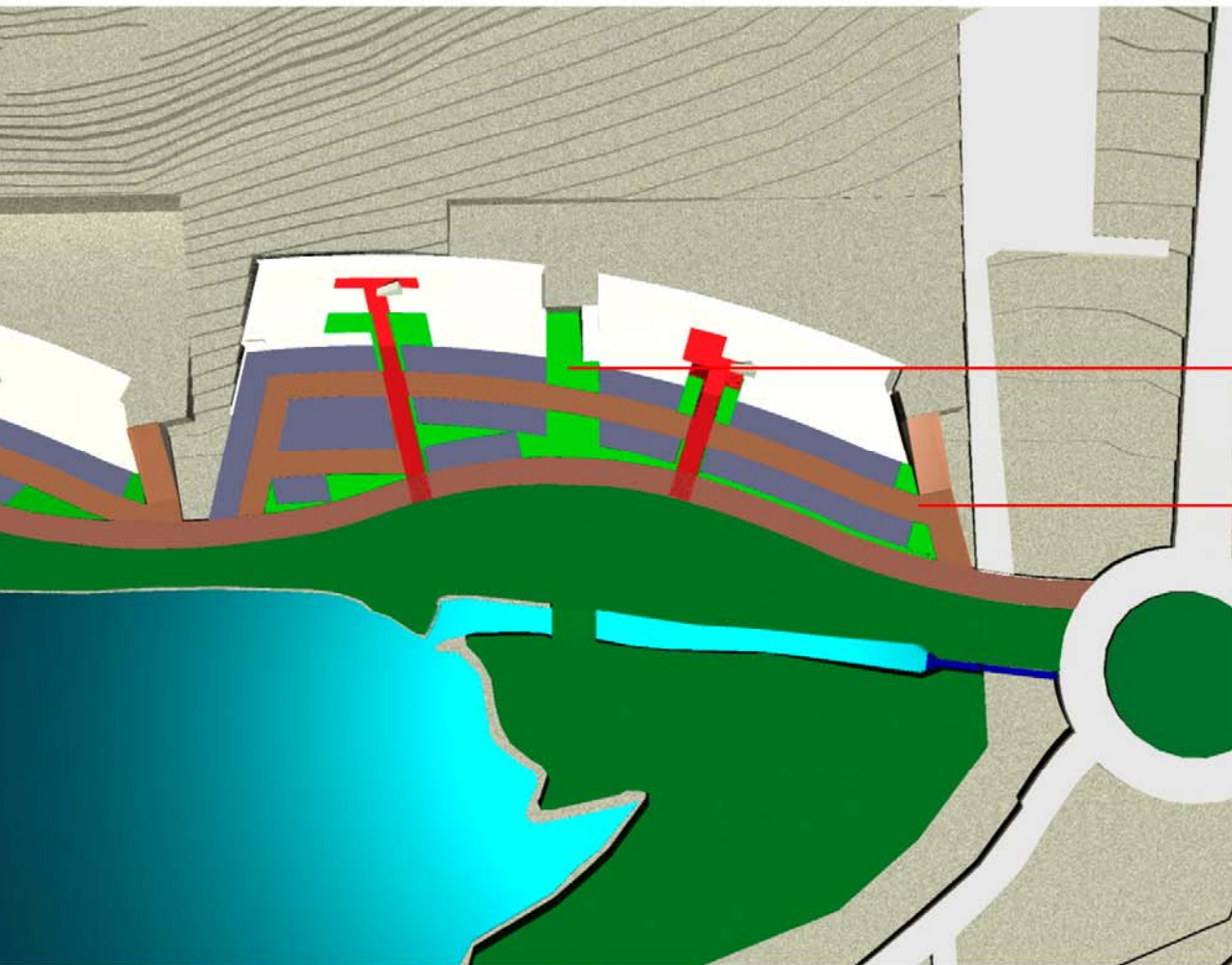
PARKING



main axis
from entrance
to park area

ground floor
level:
110 parking
lots

PARKING



green 'pavillions'

total surface
area parking
ground floor
level:
2680 m²
28.900 sq ft

GROUND FLOOR LEVEL

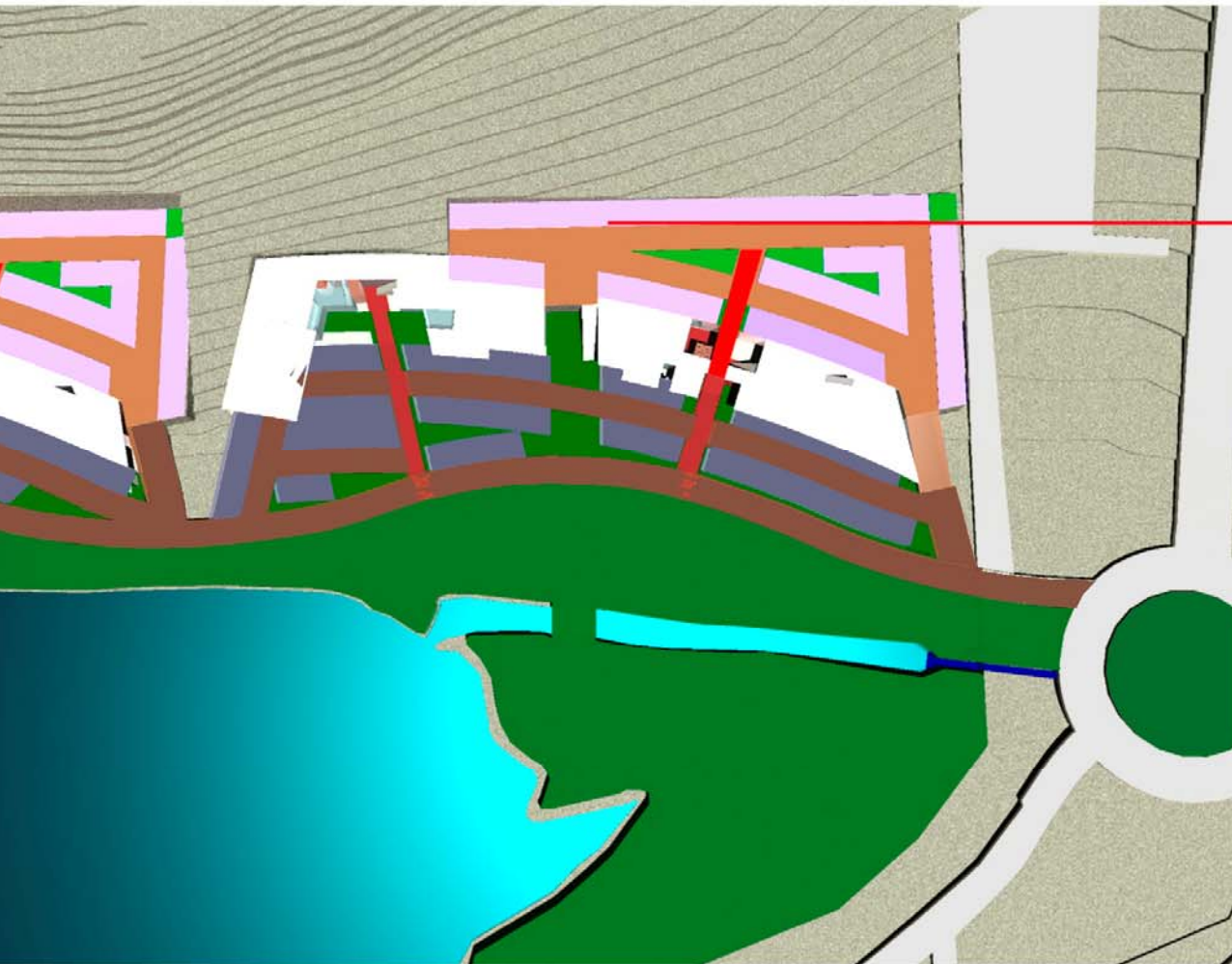


ground floor
level building A
+ building B
1520 m²
16.350 sq ft
shared amenities
350 m²
3.750 sq ft

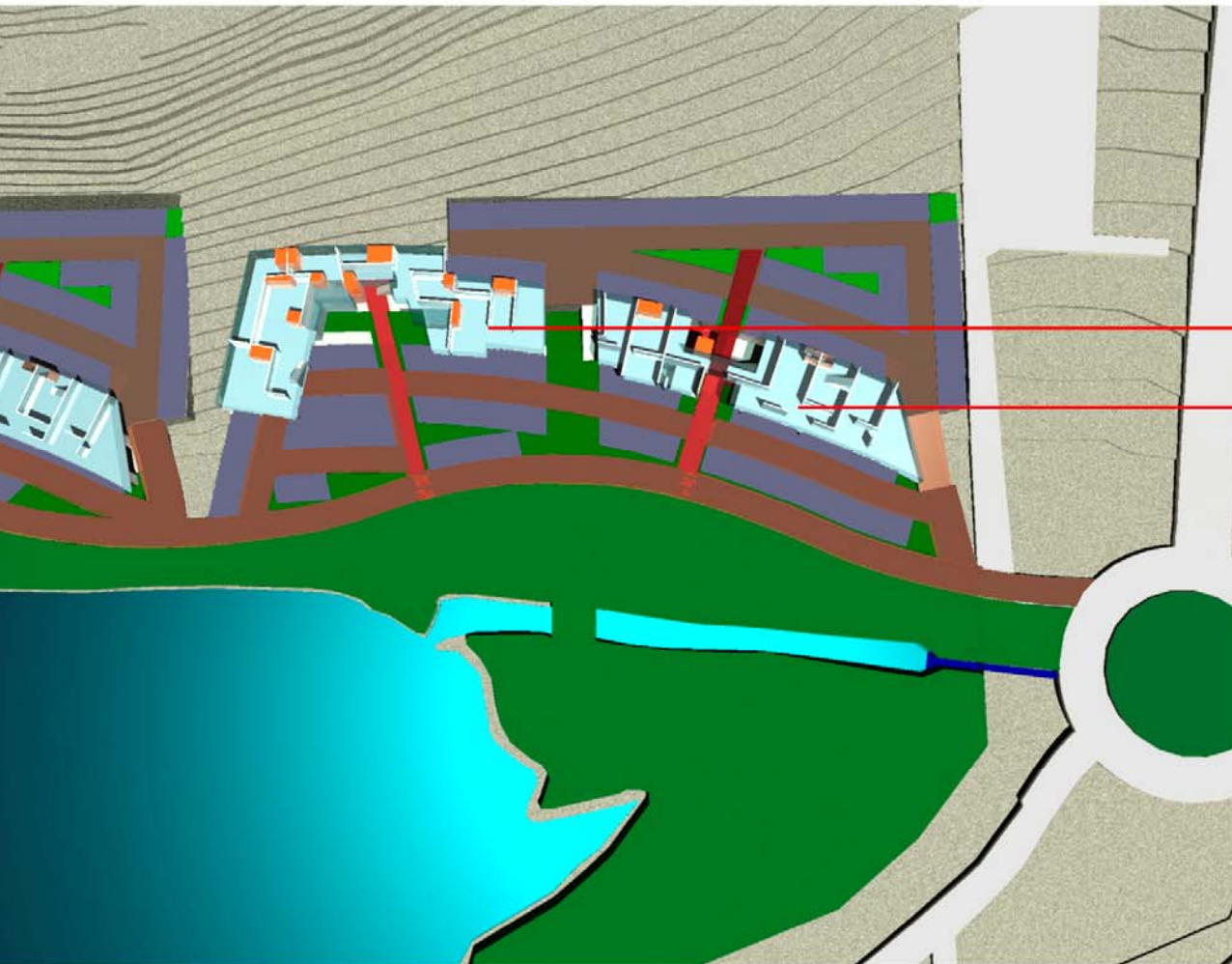
office spaces:
1170 m²
12.600 sq ft

PARKING

upper level
parking
95 parking lots
2300 m²
24.700 sq ft



FIRST FLOOR LEVEL



upper level
building B
900 m²
9.680 sq ft

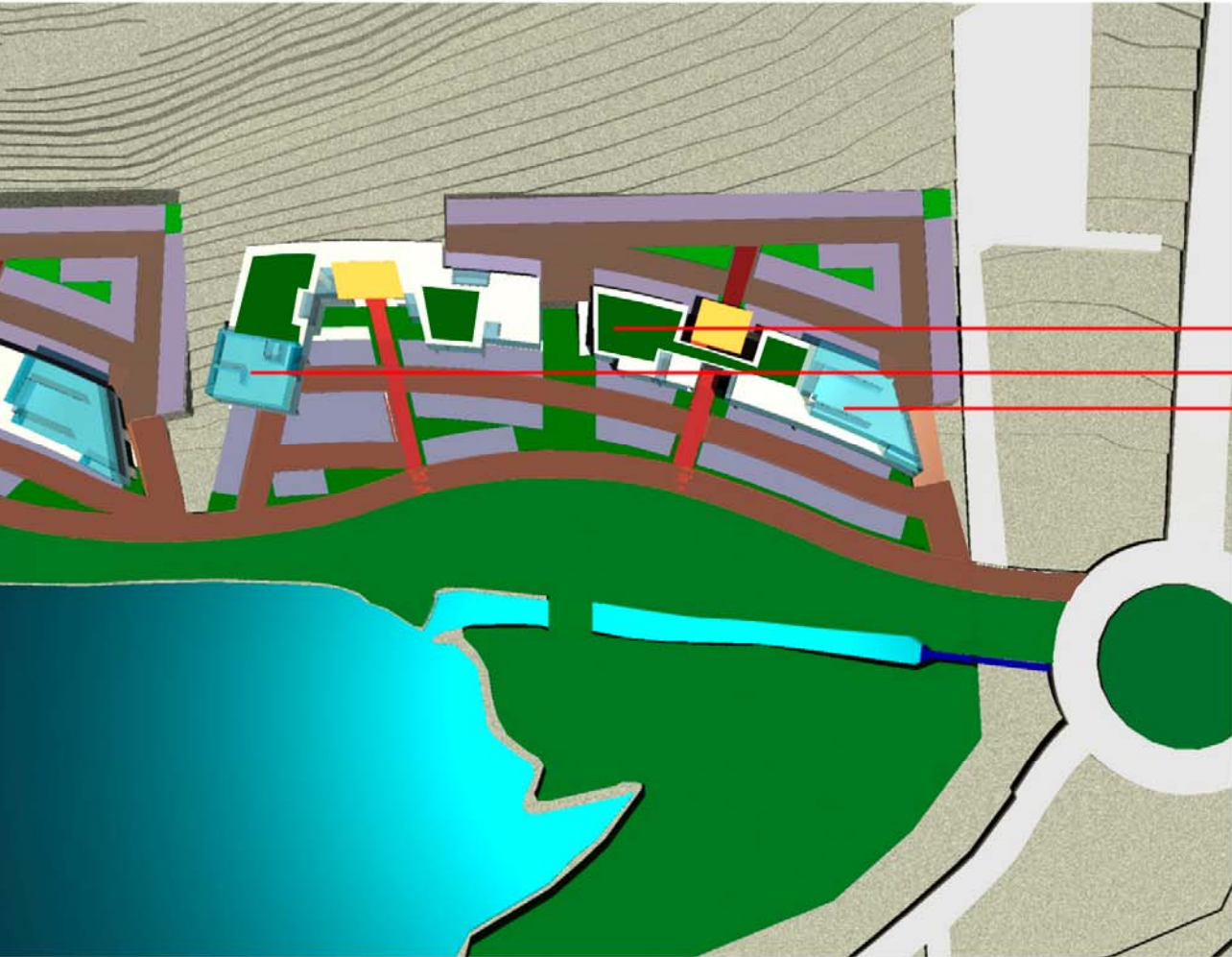
upper level
building A
850 m²
9.150 sq ft

upper level
building A
+ building B
1750m²
18.830 sq ft
shared amenities
250m²
2.700 sq ft

office spaces
1500 m²
16.130 sq ft



SECOND FLOOR LEVEL



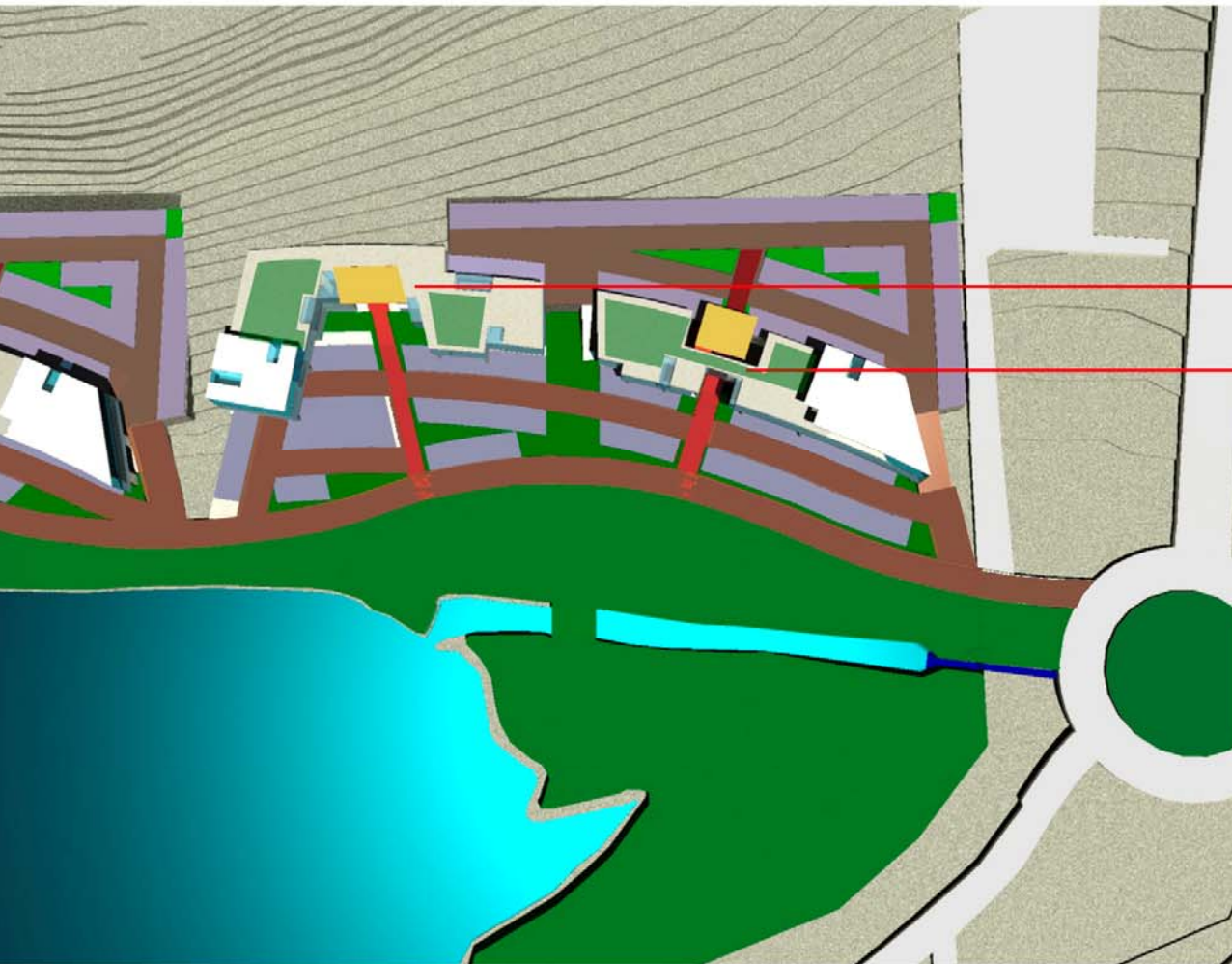
roof terraces

second floor level
building A
200 m²
2.150 sq ft

second floor level
building B
160 m²
1.720 sq ft



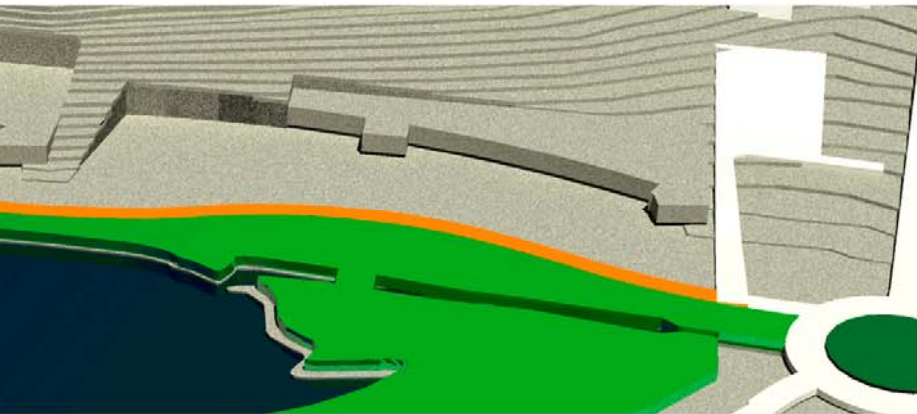
BUILDINGS

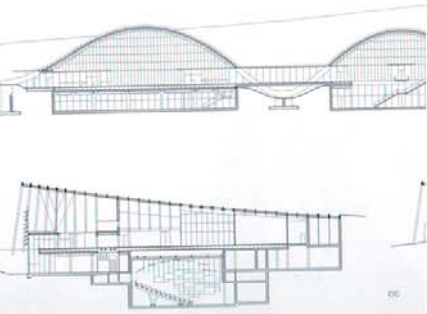
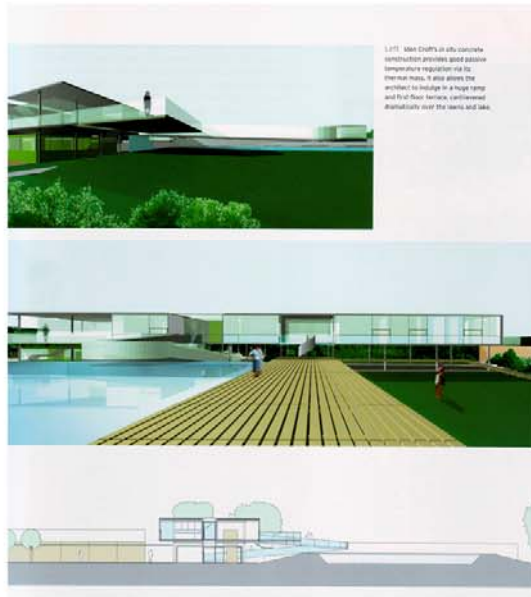


total building B
1790 m²
19.250 sq ft

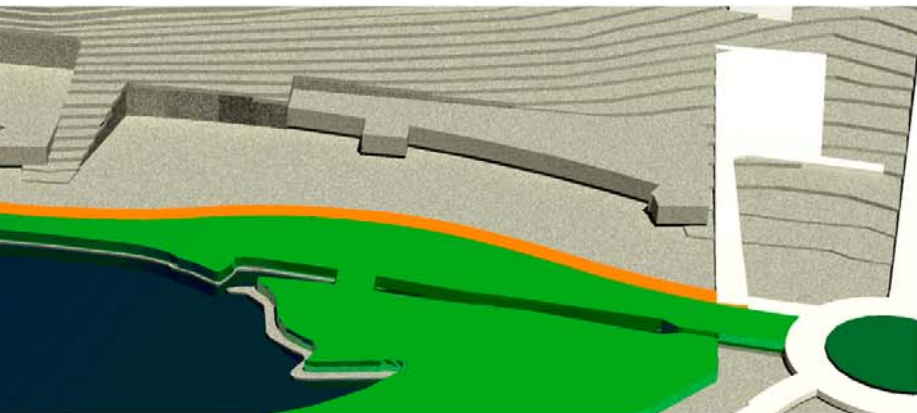
total building A
1840 m²
19.800 sq ft

LITTLE BAY POND



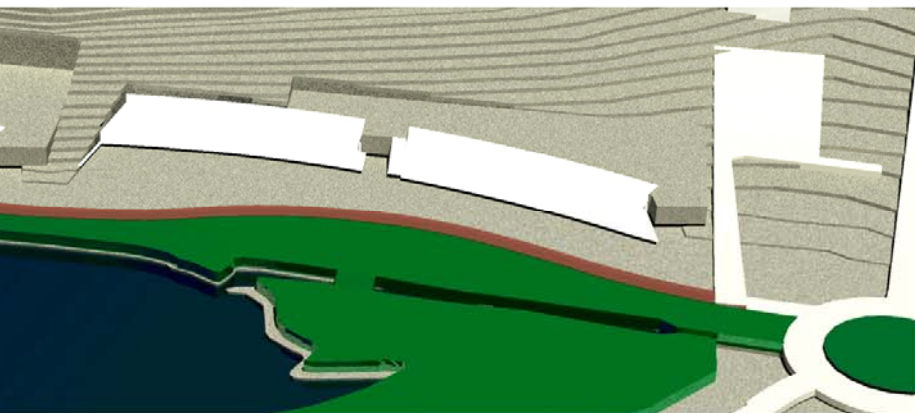


The build-up area follows the contours of the environment which creates a 'buffer-zone' between the buildings and the Little Bay Pond.



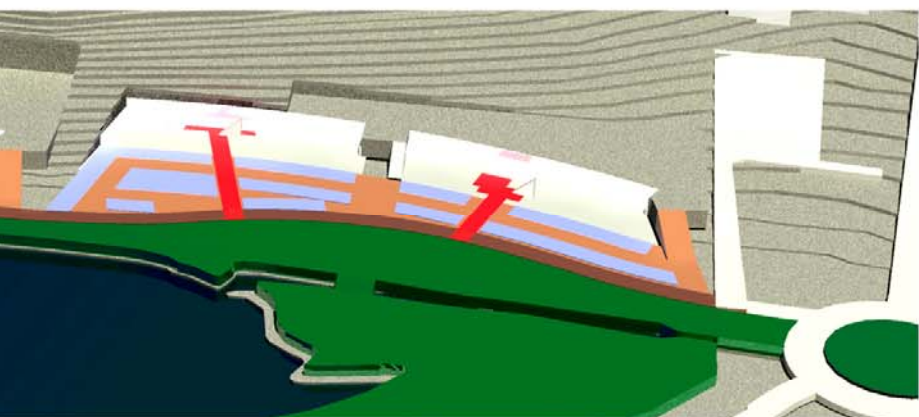


Rather than creating high-rises, the buildings will have a stretched appearance with a general height of not more than 2 levels. Protrusions for a 3rd level only serve to define the buildings in their space. To enforce the relation between the buildings and their environment, the composition of the different volumes will be such that a transparent character is achieved. The main volume is positioned in a slight hollow bend in relation to the East lot boundary, resulting in the creation of an interior void.



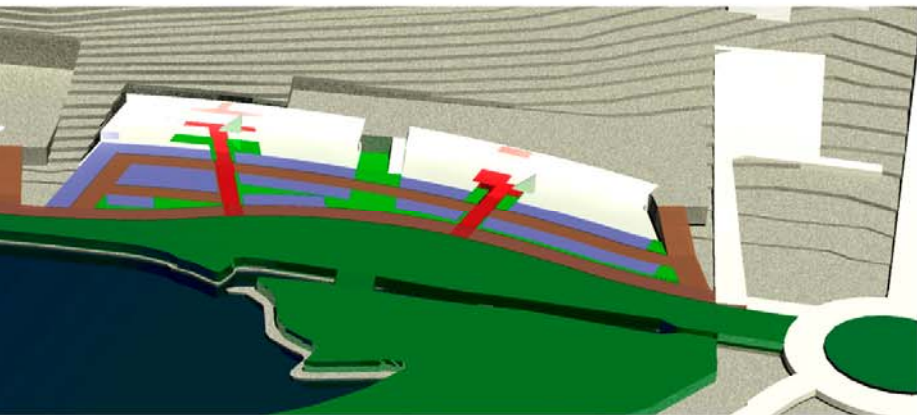


The interior void will have a direct relation with the landscaped main gridlines by extending these right into the building



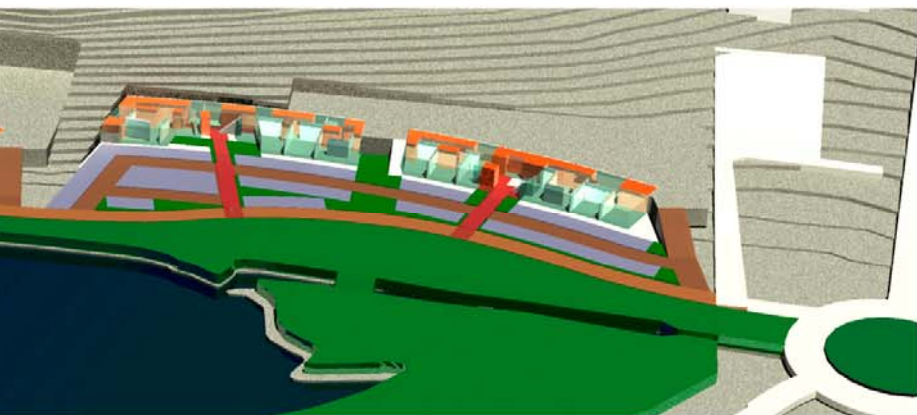


The entrances have an open character and as a result of the landscaped main grid-lines will have a direct relation with the exterior. This experience is enforced by positioning the entrances within the building volumes. The entrances are 2 stories high. This further defines the functionality of the infrastructure within the building.



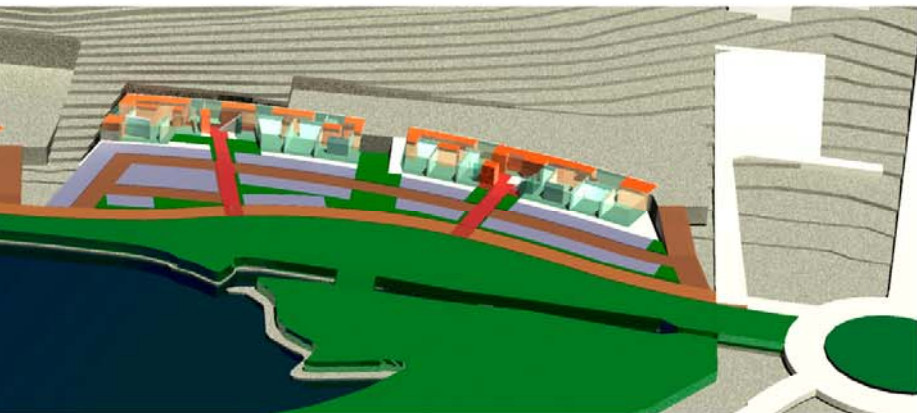


The entrance areas and the main traffic zones are situated in the center of the building volumes and extend over 2 levels. The upper areas have a relation with the lower floor by means of vides and light corridors.. The vides will be interrupted by bridged walkways.



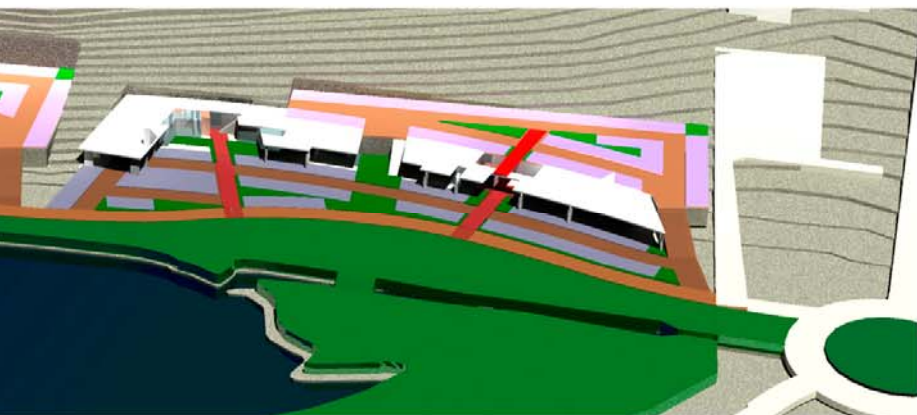


The traffic areas are clear open spaces enhancing the functionality of the design





The ground level is transparent and is slightly recessed in relation to the upper level. This causes the offices on the lower floor to benefit from the shade thus provided. At the same time a covered corridor is created alongside the base of the entire elevation of the building.



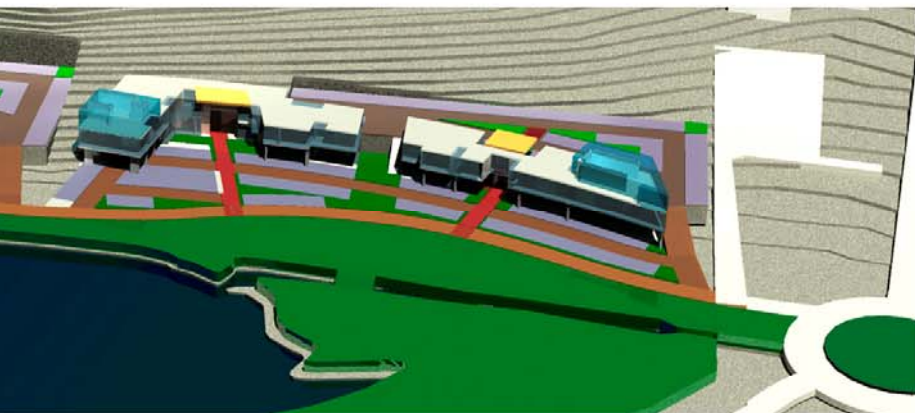


The upper floor is also designed to include common areas. These areas will have an open nature and provide excellent lines of sight towards the park and the Little Bay pond.



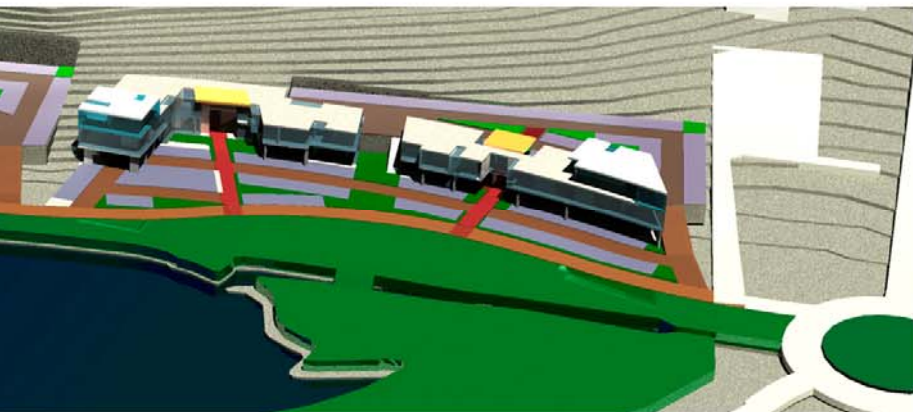


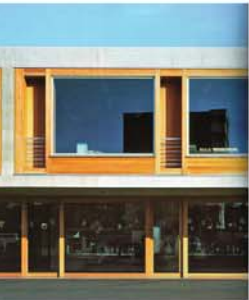
The top floors can be designed as shared lounge areas. They can be further enhanced by creating a grassed surface or a combination of planters and outdoor terraces.



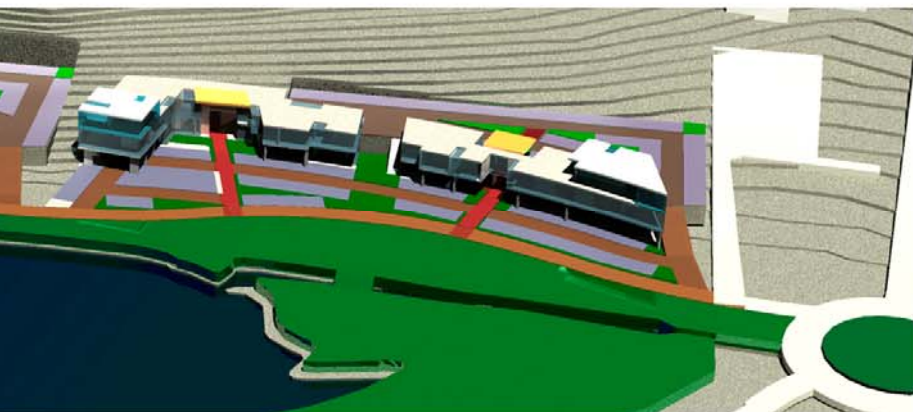


The main volume will be differentiated in appearance by contrasting surfaces. This helps to give the building a smaller scale character

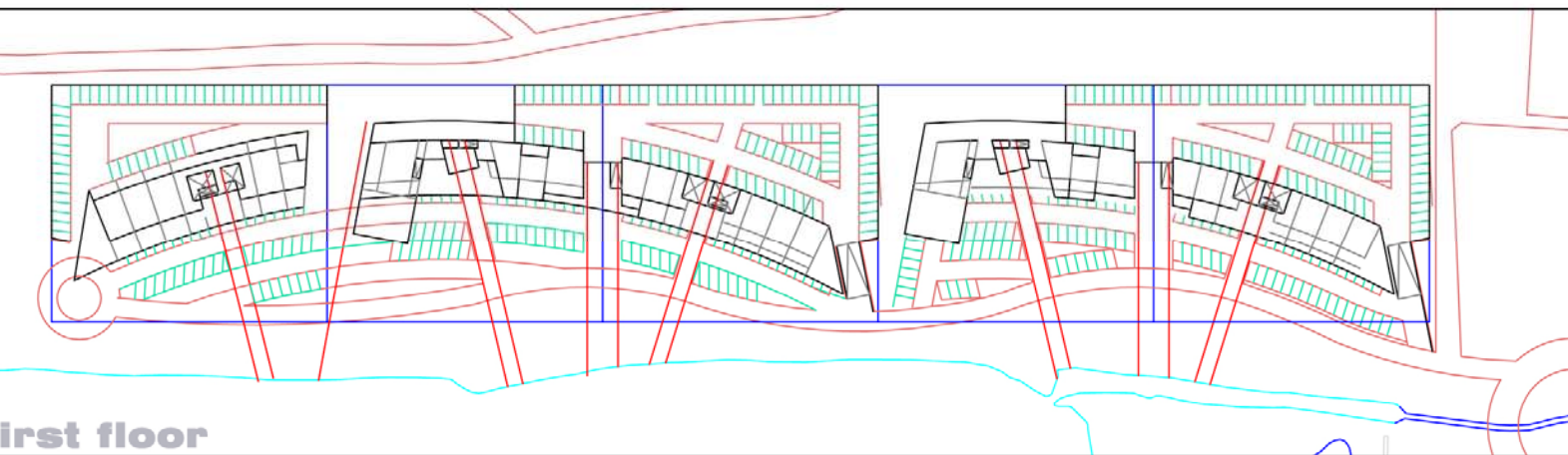
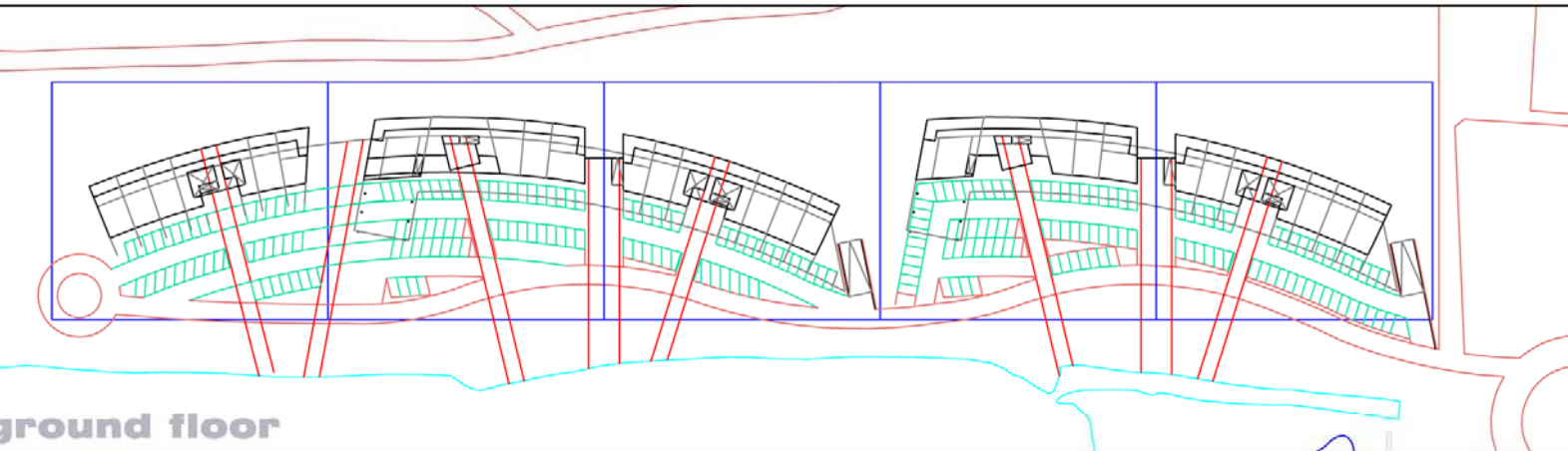




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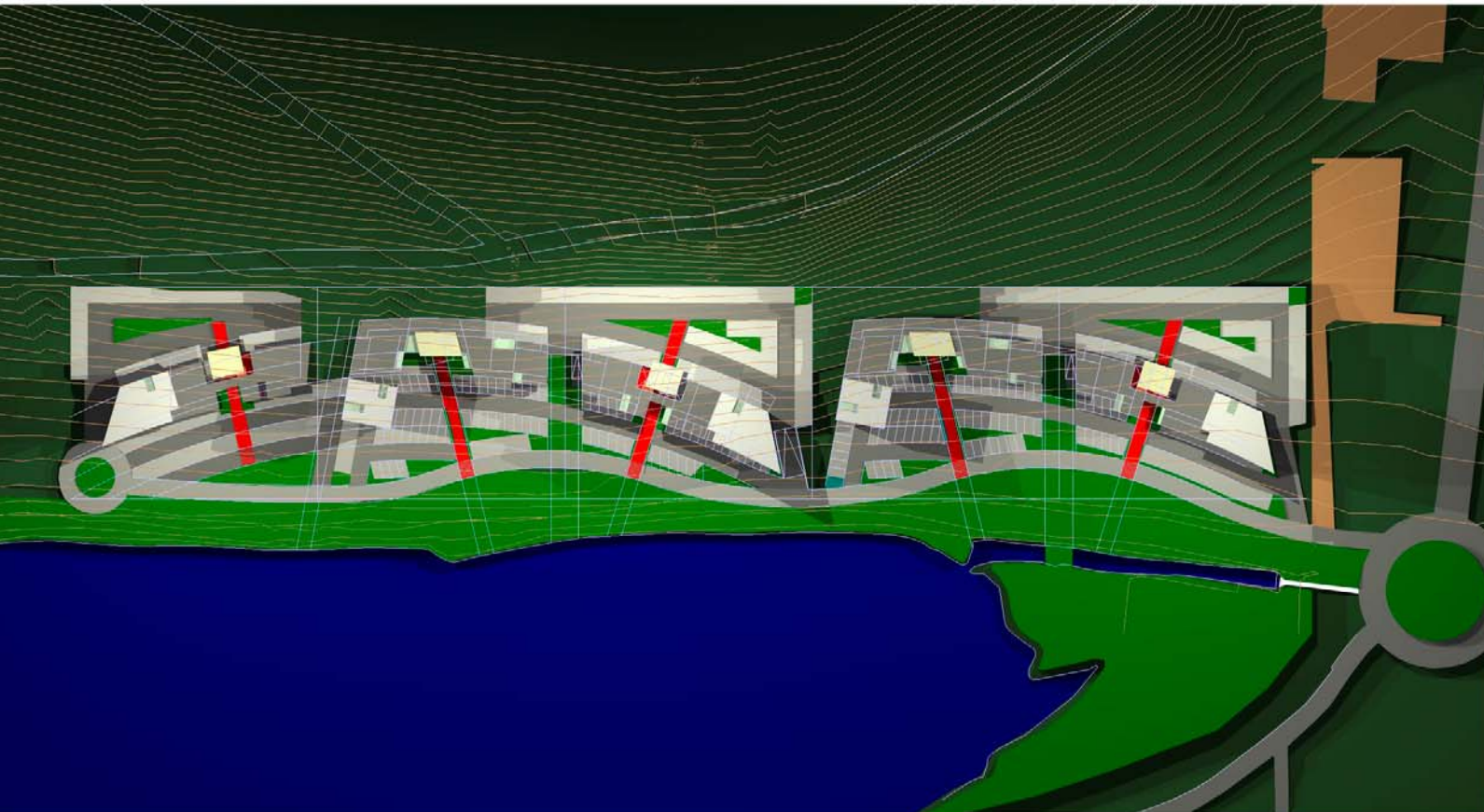


FLOORPLANS

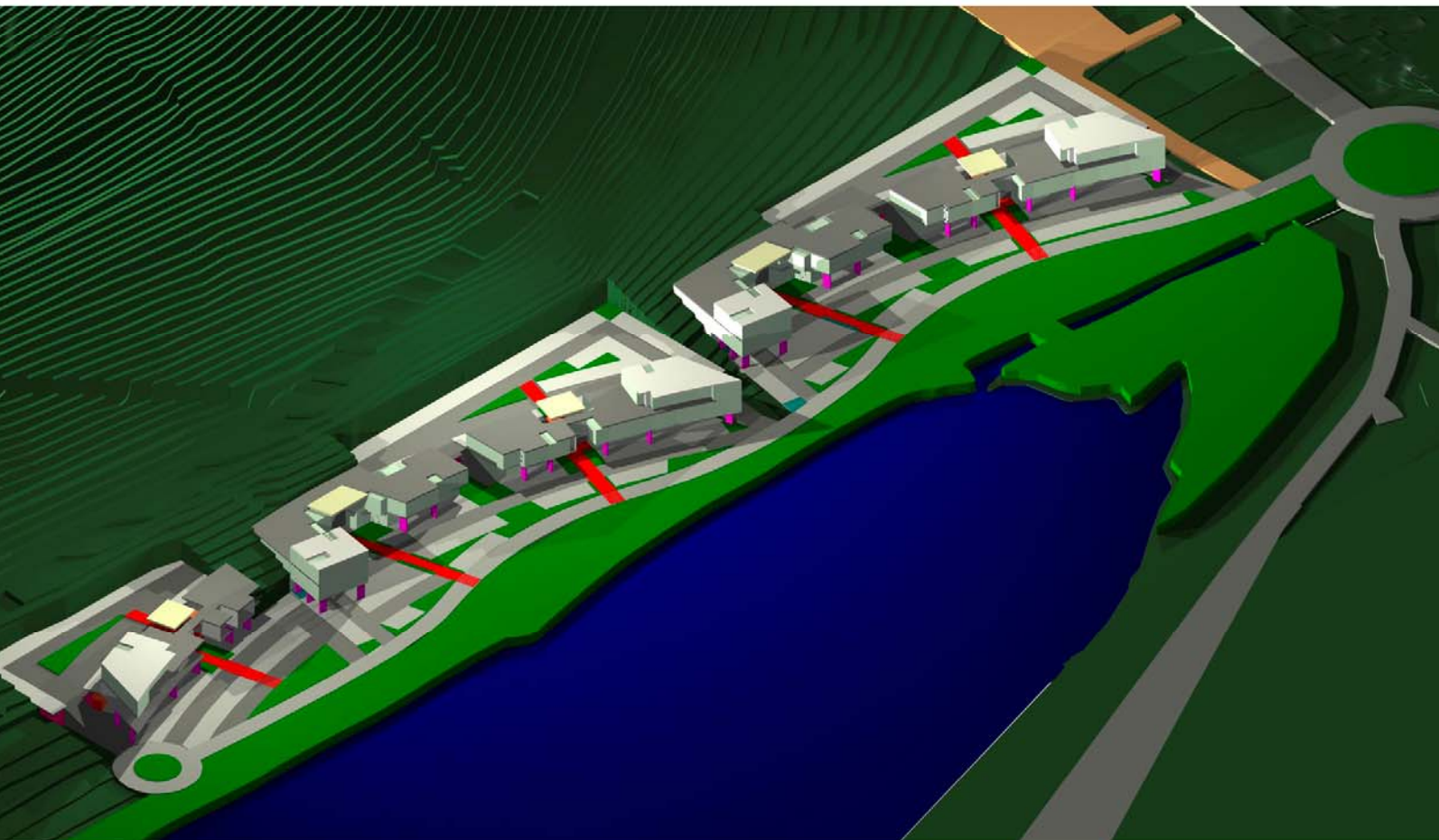


BUILDING CONFIGURATION A

Buildings are projected on individual lots, yet in a format that is perceived as 2 individual buildings

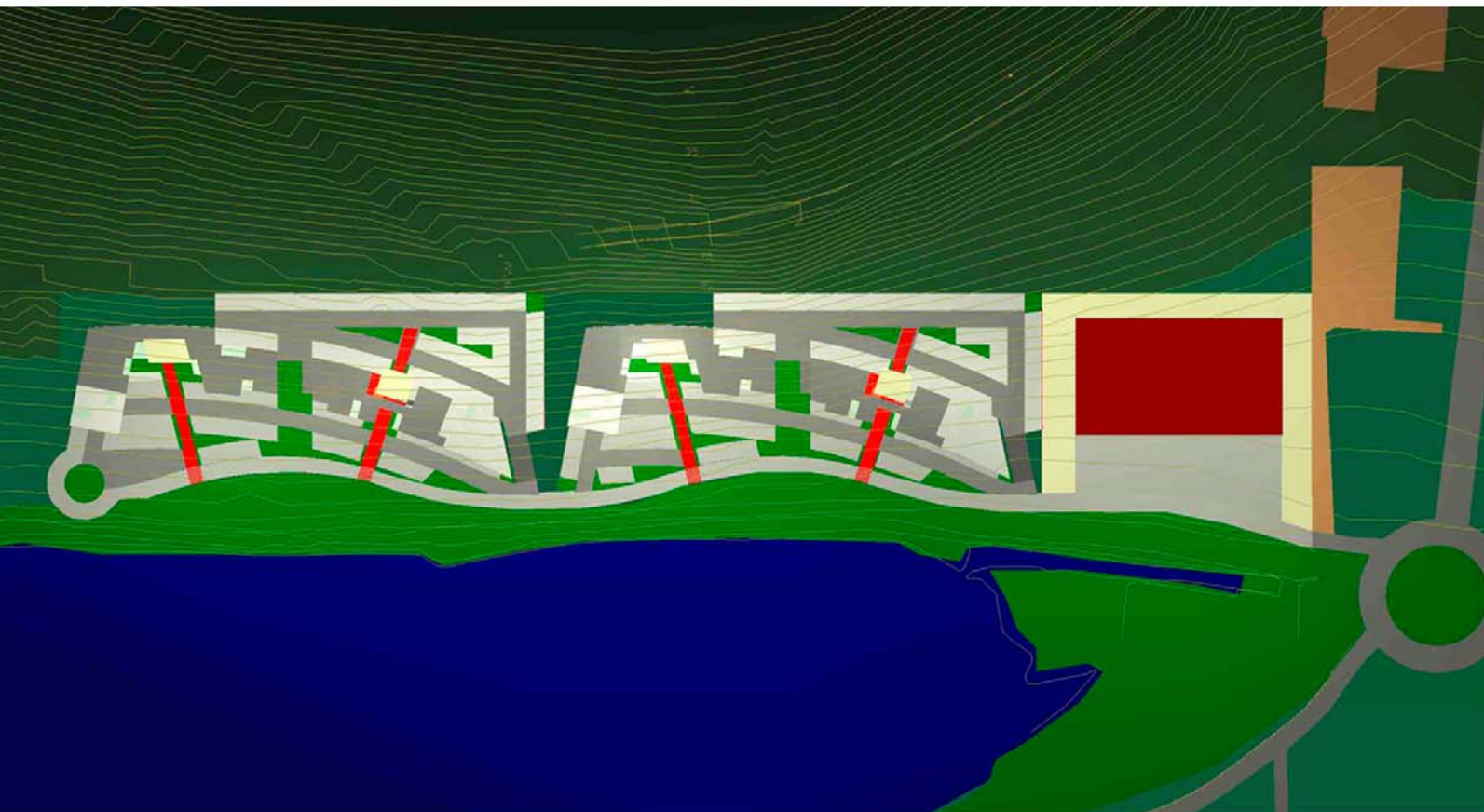


SOUTH-EAST PERSPECTIVE



BUILDING CONFIGURATION B

Configuration including existing design
of Nagico building



ACTUAL SITE PROJECTION



IMPRESSION
North-West entry from Park

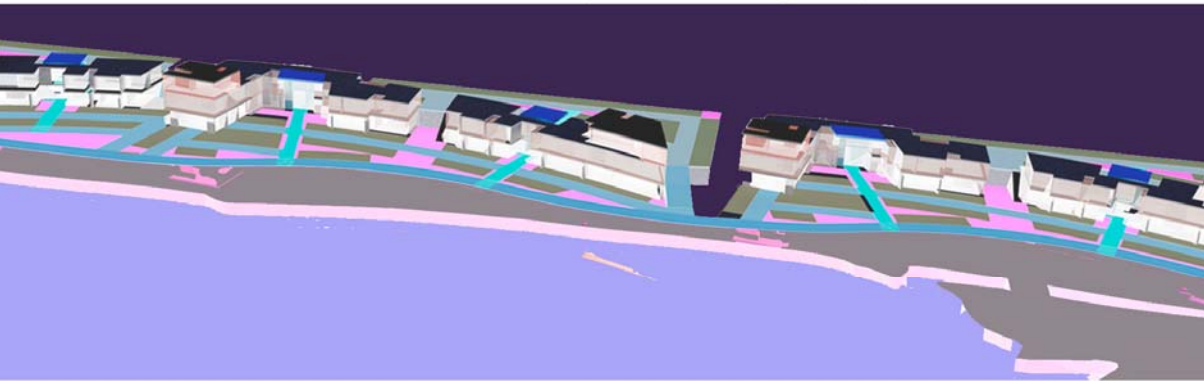


IMPRESSION
from North-West access road



Pointe Esprit Office Park

concept design presentation



ENGINEERING & DESIGN SERVICES

studiomart
architectural design







Commercial Center & Nightclub - Port Zante









E N D