

Description of 'Maxed' Out Villa's Pointe Esprit Residences

Total interior space: **305.1m² (3,280 sf)**

Total exterior space (stairs, covered & uncovered terraces and pool): **176.2m² (1,895 sf)**

Total living space (interior and exterior): **481.3m² (5,175 sf)**

Basement Level (Arrival Level): Total interior guest suite size, 41.4m² ((445 sf)

Guest Suite: 29.8 m² (321sf)

Covered Front Porch: 7.9m² (85sf)

Storage/Walk-in Closet: 4.1m² (44sf)

Private Balcony: 3.2m² (34sf)

Bathroom: 7.5m² (81sf)

Technical Room: 9.1m² (98sf) pool equipment, pumps, filters, general storage

Domestic Elevator cabin to main level: automatic doors and automated safety features

Main Level:

Master bedroom suite: 24.4m² (263sf)

Master bathroom and closets: 18.7m² (201sf)

Master balcony: 12.6m² (136sf)

Kitchen: 13.2m² (142sf) (Granite countertop and stainless steel appliances)

Dining Room: 17.2m²

Living Room/ vide area: 56.4m² (607sf)

Entrance Hallway & Storage room: 9.4m² (101sf)

1/2 Bathroom and Hallway: 3.2m² (34sf)

Laundry Room: 5.0m² (54sf)

Covered Exterior Terrace: 8.2m² (88sf)

Pool-deck: 52.7m² (567sf)

Double infinity (negative) edge pool: 20m² (215sf , nominally 10ft x 22ft), larger pool optional

Upper Level

Hallway area: 26.3m² (283sf)

Bedroom 1: 21.3m² (229sf)

Private Bathroom for Bedroom 1: 4.3m² (46sf)

Bedroom 2: 21.3m² (229sf)

Private Bathroom for Bedroom 2: 4.3m² (46sf)

Bedroom3: 20.0m² (215sf)

Private Bathroom for Bedroom 3: 4.3m² (46sf)

Private Covered Terrace for Bedroom 3: 5.9m² (63sf)

Common Covered Terrace Bedroom 1 and 2: 14.3 m² (154sf)

Optional Roof Terrace: 49.5 m² (533sf)

Miscellaneous

Not indicated are the driveway (approx. 30m), planters, retaining walls, landscaping, main entrance stairwell, etc.

Property sizes vary between 1900 and 2.000m². freehold

Underground Electric Service, Waterlines, Telephone and CATV will be provided.

Note: prices will vary according to wishes/budget of principal. The above mentioned specs are for the 'maximum villa' featuring 4 bedrooms, 4-1/2 bathroom, a full guest suite (1 bed, 1 bath), domestic elevator and roof terrace.

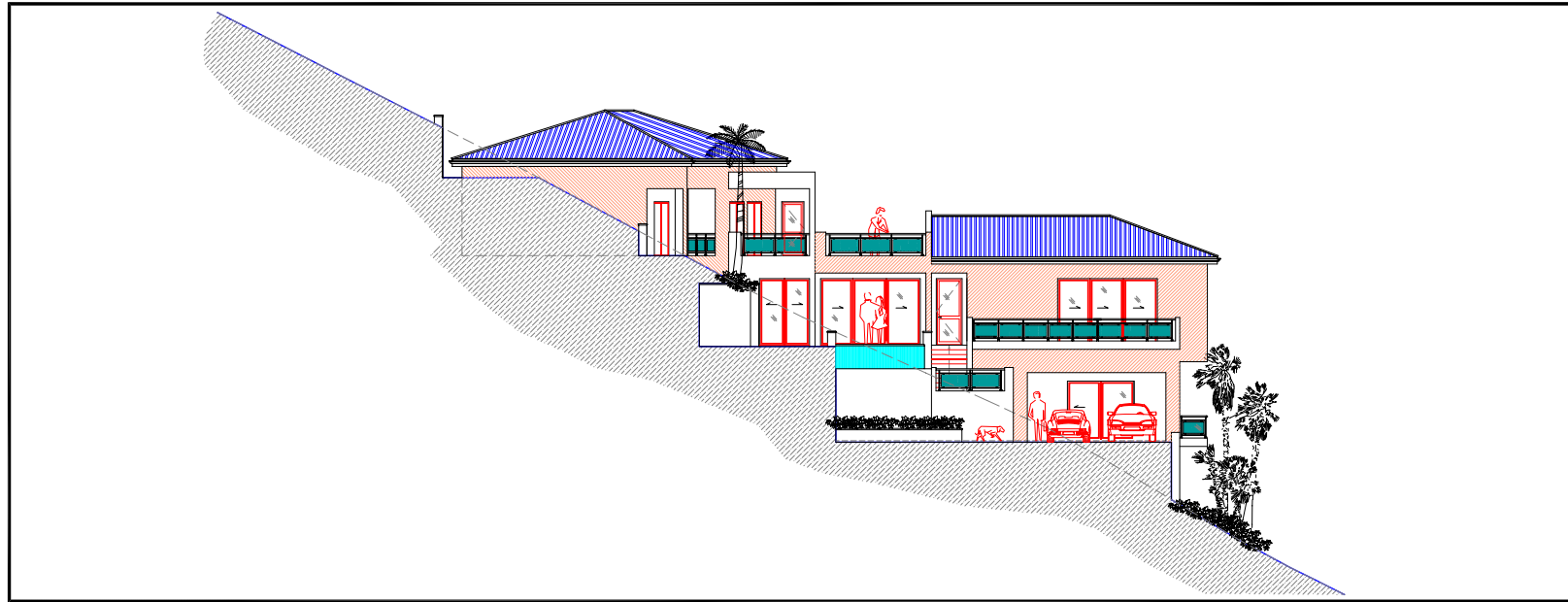
The 'minimum villa' features 3 bedrooms, 3-1/2 bathrooms and the apartment will be converted into a double carport. The elevator hoist-way will be built, but the elevator will not be installed and the roof over the kitchen area will receive a bituminous coating instead of a tiled surface with railings. However, the owner will receive all plans and permits necessary to increase the size of the home by converting the carport into the guest suite, installing the elevator in the provided shaft, transforming the roof in a roof terrace and adding the 4th bedroom. at a future time

View from the new homes of Little Bay, Great Bay & Pointe Blanche.



POINTE ESPRIT RESIDENCES

BEETHOVEN ROAD, CAY HILL, ST. MAARTEN, NA

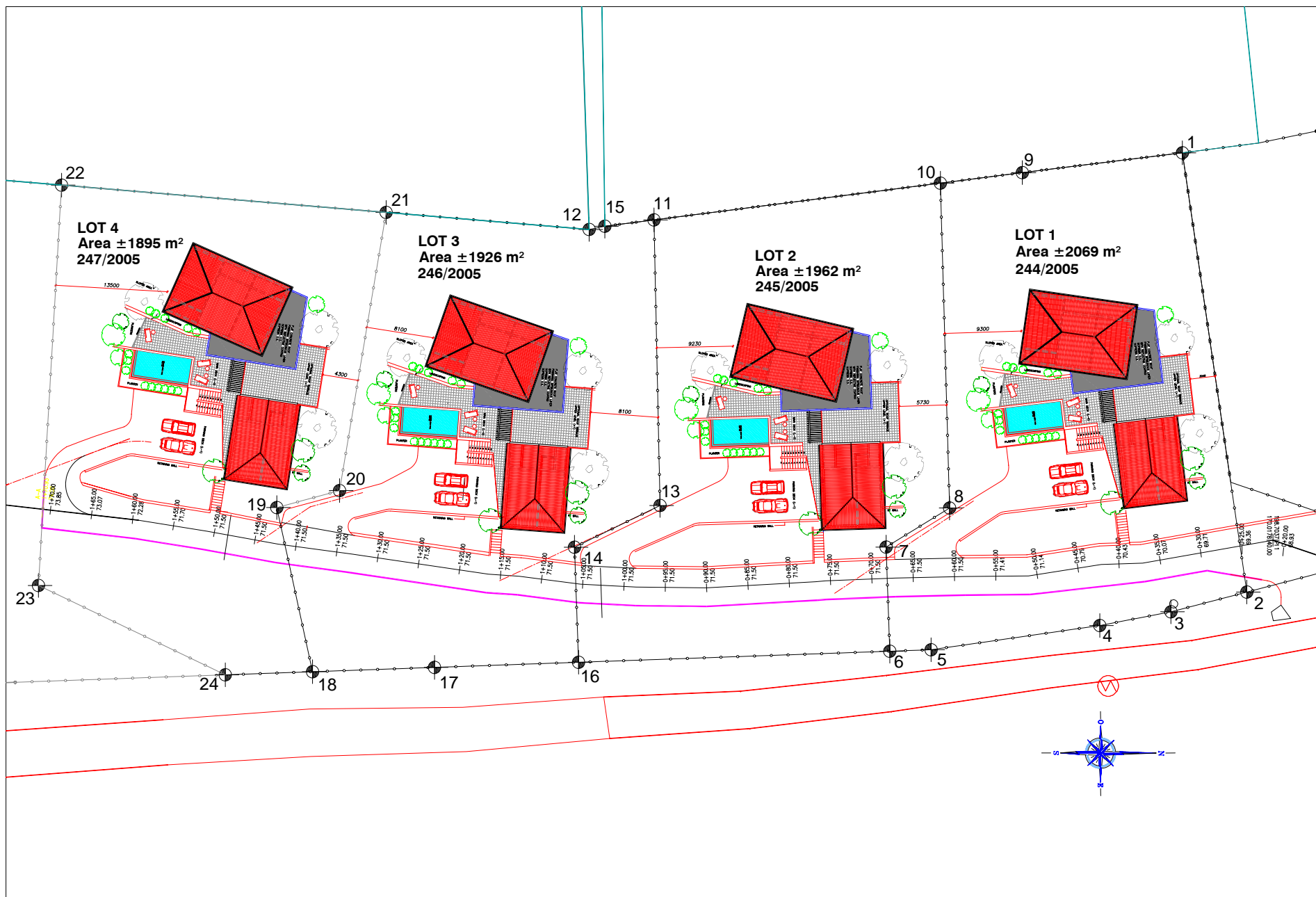


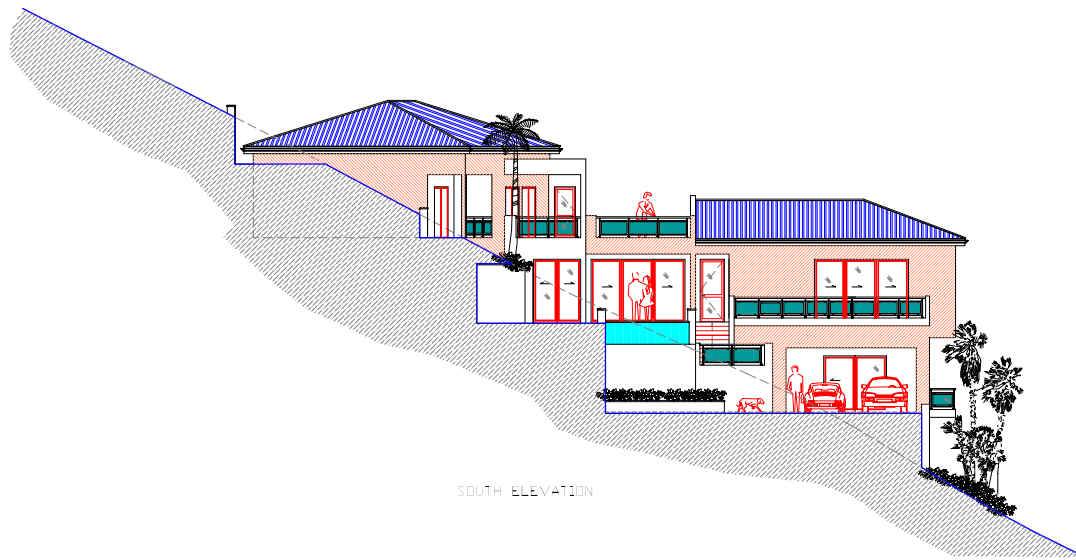
ARCHITECTURAL DRAWINGS

- A-01 LOCATION PLAN &
- A-02 NORTH, SOUTH & EAST ELEVATION
- A-03 BASEMENT LAY-OUT (-1) & FOUNDATION PLAN MAIN LEVEL (0) + BASEMENT (-1)
- A-04 MAIN FLOOR LAY-OUT (0) + FOUNDATION PLAN UPPER LEVEL (+1)
- A-05 UPPER FLOOR LAY-OUT (0)
- A-06 RAFTER PLAN, TOP PROJECTION, FLOOR REINF. ALL LEVELS
- A-07 SECTION A-A + STRUCTURAL DETAILS
- A-08 DOOR & WINDOW SCHEDULE

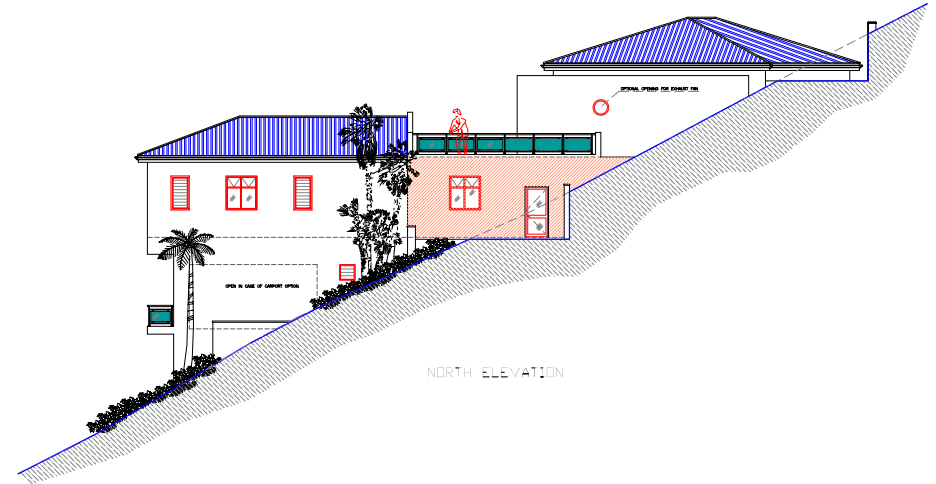
UTILITY DRAWINGS

- E-01 ELECTRICAL LAY-OUT ALL FLOOR LEVELS
- P-01 PLUMBING LAY-OUT ALL FLOOR LEVELS & SEPTIC TANK

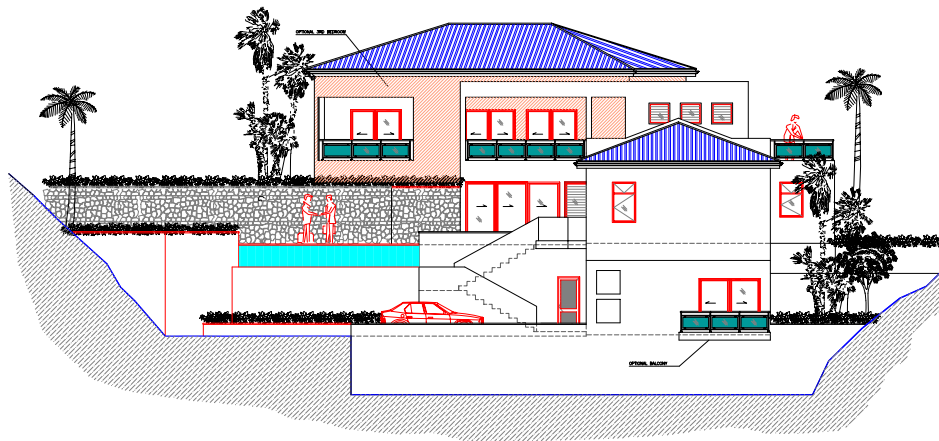




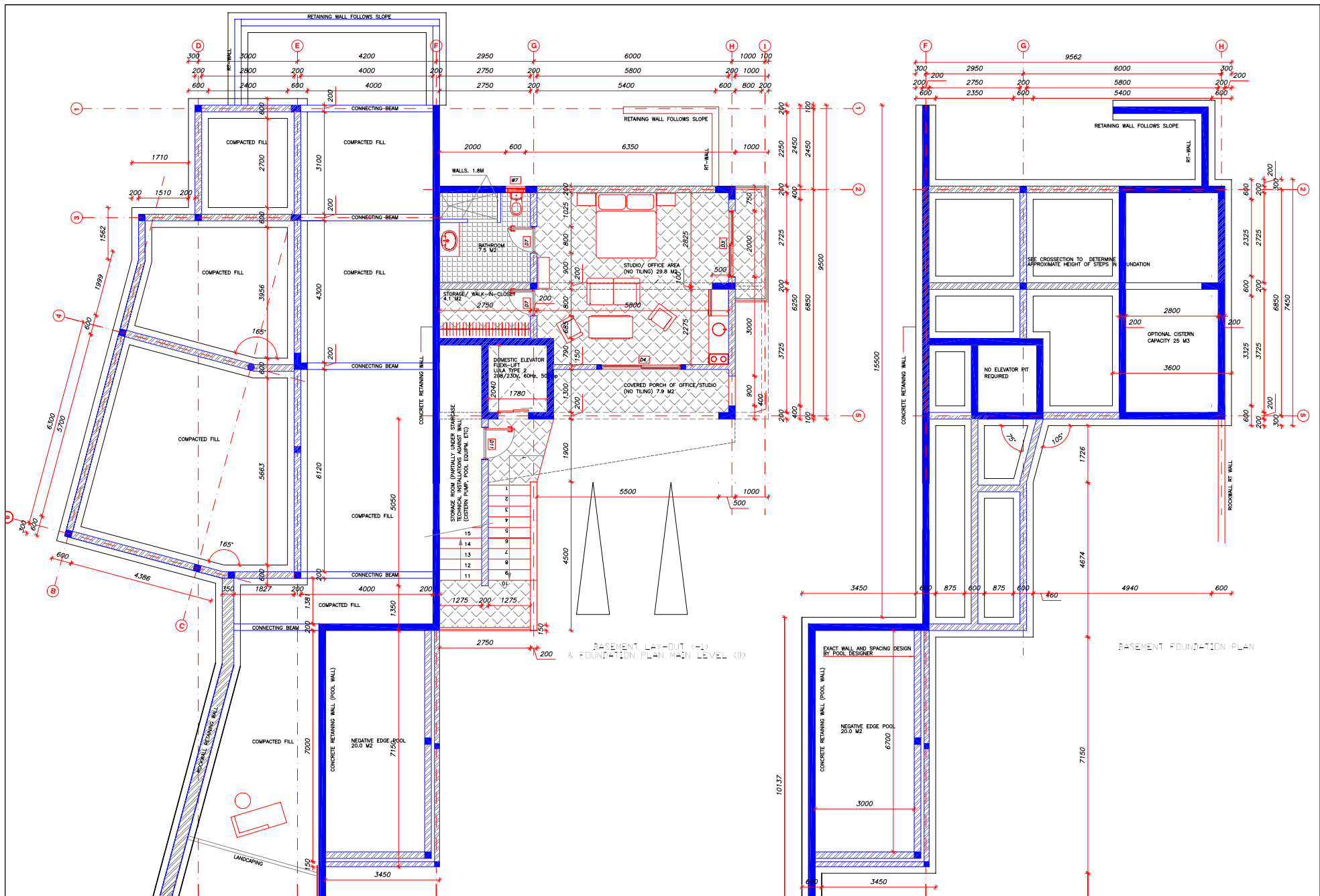
SOUTH ELEVATION



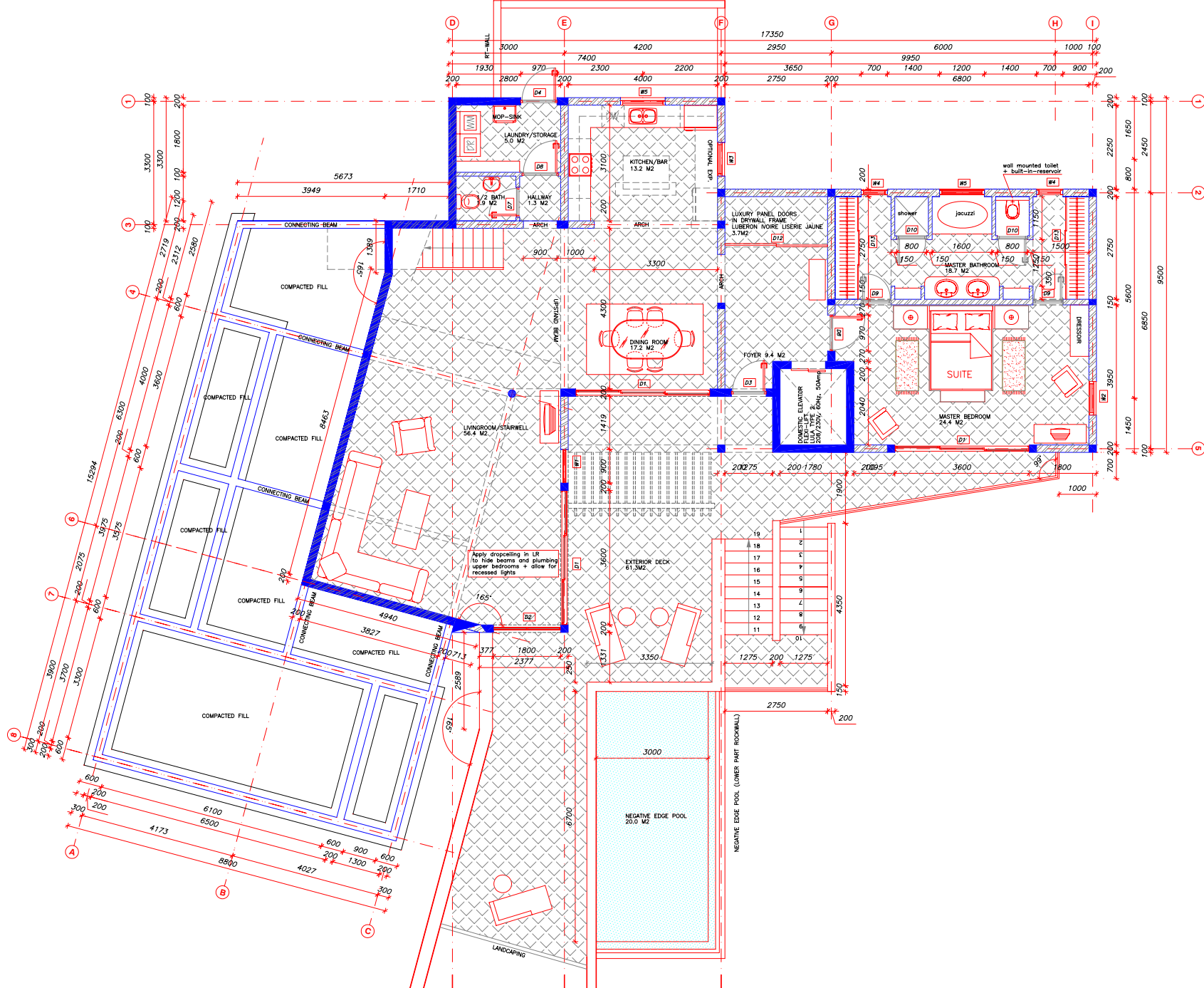
NORTH ELEVATION

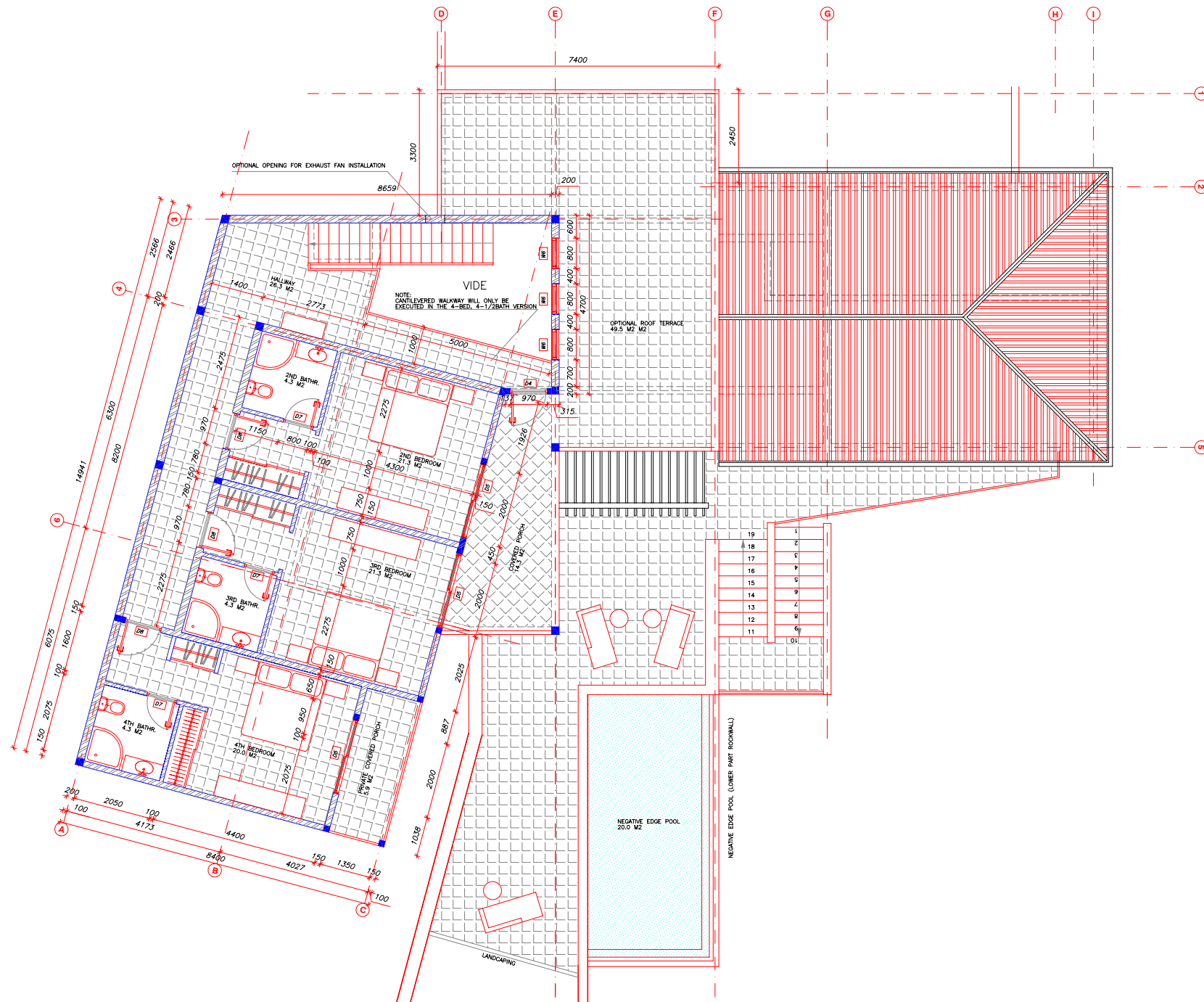


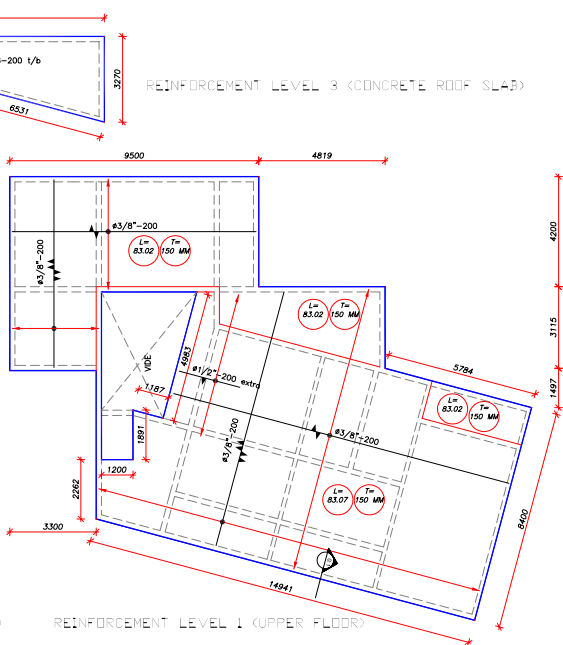
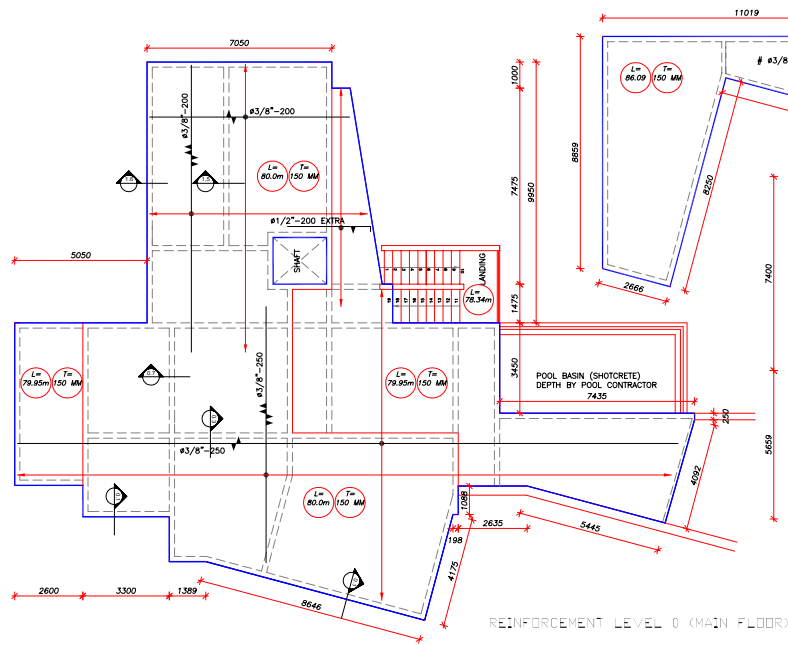
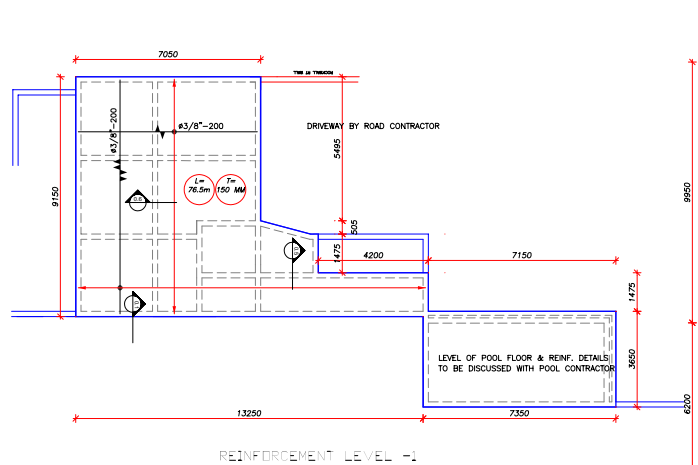
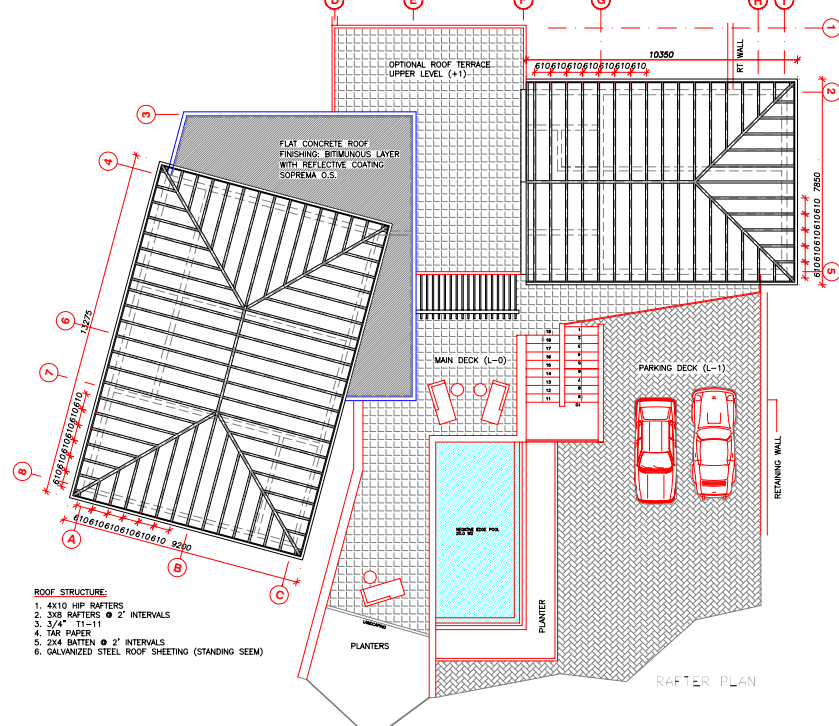
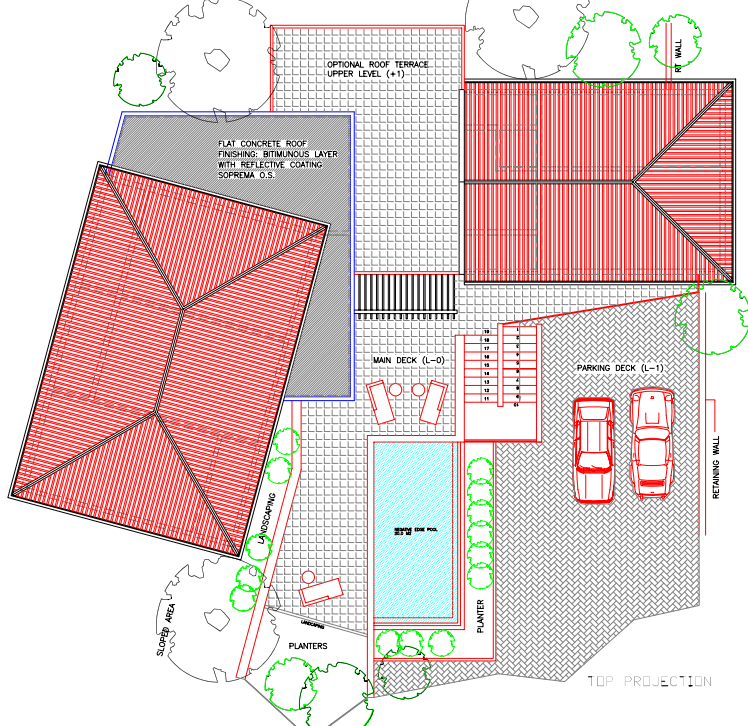
EAST ELEVATION



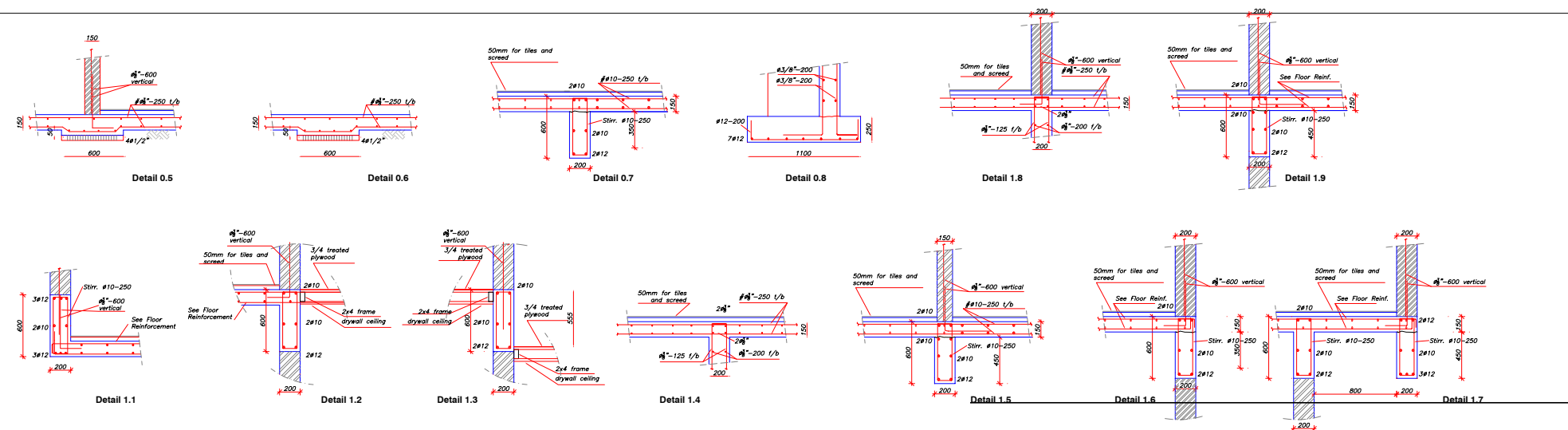
RETAINING WALL FOLLOWS SLOPE

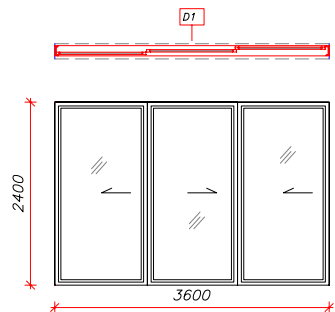




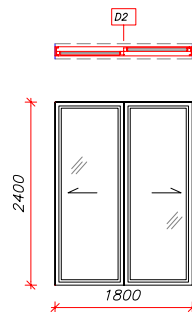


REINFORCEMENT LEVEL 3 (CONCRETE ROOF SLAB)

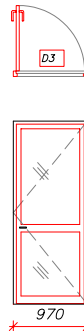




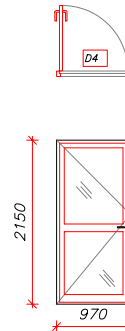
DOOR TYPE: D1
QUANTITY: 03
3-PANE ALUMINUM SLIDING DOORS
INCL. MOSQUITO SCREEN



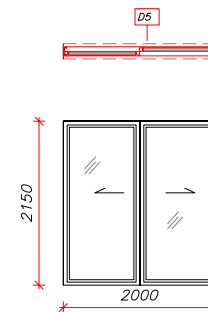
DOOR TYPE: D2
QUANTITY: 01
2-PANE ALUMINUM SLIDING DOORS
INCL. MOSQUITO SCREEN



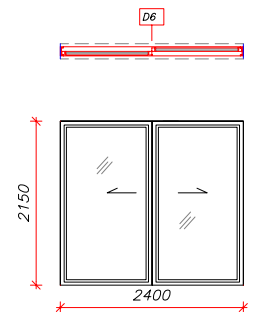
DOOR TYPE: D3
QUANTITY: 01
ALUMINUM FRAME GLASS DOOR
RIGHT TURNING



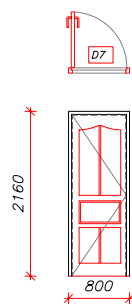
DOOR TYPE: D4
QUANTITY: 02
ALUMINUM FRAME GLASS DOOR
LEFT TURNING 01
RIGHT TURNING 01



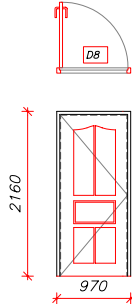
DOOR TYPE: D5
QUANTITY: 02 IN 3 BEDROOM OPTION
QUANTITY: 03 IN 4 BEDROOM OPTION
QUANTITY: 04 IN 5 BEDROOM OPTION (STUDIO)
2-PANE ALUMINUM SLIDING DOORS
INCL. MOSQUITO SCREEN



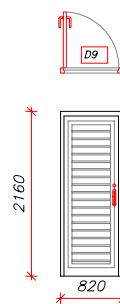
DOOR TYPE: D6
QUANTITY: 01 IN STUDIO OPTION ONLY
2-PANE ALUMINUM SLIDING DOORS
INCL. MOSQUITO SCREEN



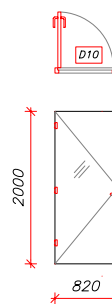
DOOR TYPE: D7
QUANTITY: 06
QUANTITY: ADD 2 FOR STUDIO OPTION
SOLID HARDWOOD DOORS
LEFT TURNING: 03
RIGHT TURNING: 03 (02 ON STUDIO)



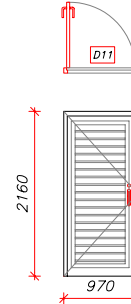
DOOR TYPE: D8
QUANTITY: 05
SOLID HARDWOOD DOORS
LEFT TURNING: 02
RIGHT TURNING: 03



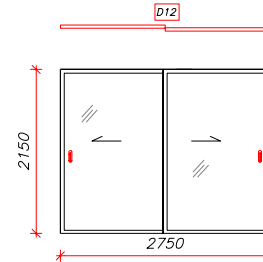
DOOR TYPE: D9
QUANTITY: 02
HARDWOODEN LOUVER DOOR
LEFT TURNING: 01
RIGHT TURNING: 01



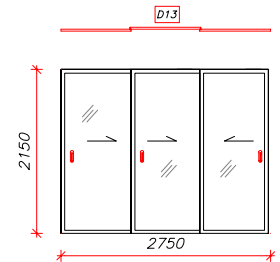
DOOR TYPE: D10
QUANTITY: 02
HARDGLASS DOORS (NO FRAME)
HARDWARE ON GLASS
LEFT TURNING: 01
RIGHT TURNING: 01



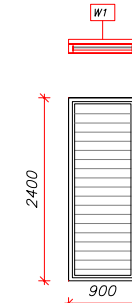
DOOR TYPE: D11
QUANTITY: 01
ALUMINUM FIXED LOUVERED DOOR
LEFT TURNING: 01



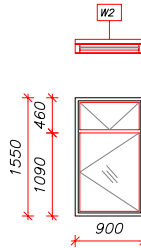
DOOR TYPE: D12
QUANTITY: 01
2-PANE ALUMINUM SLIDING DOOR
MIRRORED PANEL INSERT
RECESSED HANDLES FOR OPENING AND CLOSING



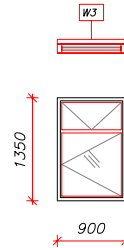
DOOR TYPE: D13
QUANTITY: 02
3-PANE ALUMINUM SLIDING DOOR
MIRRORED PANEL INSERT
RECESSED HANDLES FOR OPENING AND CLOSING



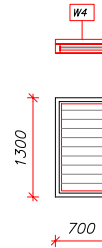
WINDOW TYPE: W1
QUANTITY: 01
ALUMINUM LOUVERED PANEL
LEVER SHAFT OPERATOR
INCL. MOSQUITO SCREEN



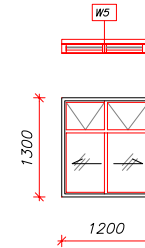
WINDOW TYPE: W2
QUANTITY: 01
ALUMINUM FRAME GLASS WINDOW
TOP PART W/ MOSQUITO SCREEN



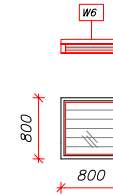
WINDOW TYPE: W3
QUANTITY: 01
ALUMINUM FRAME GLASS WINDOW
TOP PART W/ MOSQUITO SCREEN



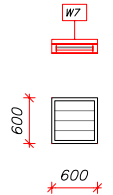
WINDOW TYPE: W4
QUANTITY: 02
ALUMINUM LOUVERED PANEL
LEVER SHAFT OPERATOR
INCL. MOSQUITO SCREEN



WINDOW TYPE: W5
QUANTITY: 02
ALUMINUM FRAME GLASS WINDOW
TOP PART W/ MOSQUITO SCREEN
BOTTOM PART SL. WINDOW W MOSQ. SCREEN



WINDOW TYPE: W6
QUANTITY: 03
ALUMINUM LOUVERED PANEL
LEVER SHAFT OPERATOR
INCL. MOSQUITO SCREEN
CONTRACTOR TO SUPPLY STICK W/ LOOP
TO OPERATE LEVER



WINDOW TYPE: W7
QUANTITY: 01
ALUMINUM LOUVERED PANEL
LEVER SHAFT OPERATOR
INCL. MOSQUITO SCREEN

GENERAL NOTES:

1. ALL HARDWARE TO BE STAINLESS STEEL FOR EXTERIOR DOORS AND WINDOWS
2. ALL HARDWARE TO BE OF NON-CORROSIVE TYPE FOR INTERIOR DOORS
3. HURRICANE PROTECTION ON ALL EXTERIOR WINDOWS AND DOORS IS OPTIONAL
4. ALL CLOSETS IN THE LEVEL 1 BEDROOMS WILL HAVE MIRRORED SLIDING DOORS SIMILAR TO MODEL D13 (INDICATED ON FLOOR PLANS)



ENGINEERING
&
DESIGN SERVICES

Tel/Fax: 011-599-542-2779
E-mail: EDS@pointmaarten.net

POINTE ESPRIT RESIDENCES
L. van Beethoven Rd., Cay Hill, St. Maarten, NA

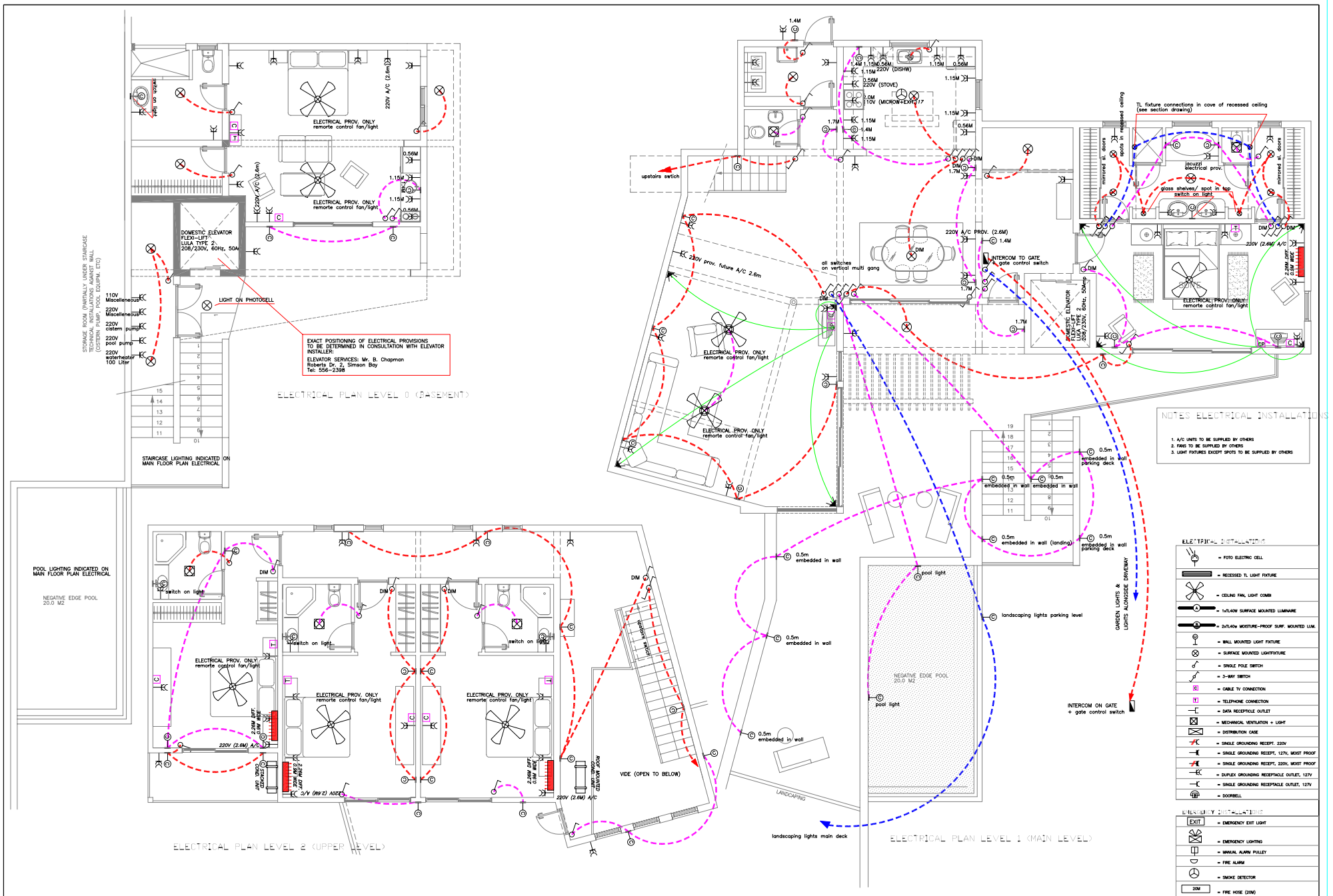
Principal:
Mr. R. Neuss
Date: May 2005

Scale:
1:50

Subject:
**WINDOWS & DOORS
SCHEDULE**

Rev. A
-
Rev. B
-

DWG. no.:
A-08



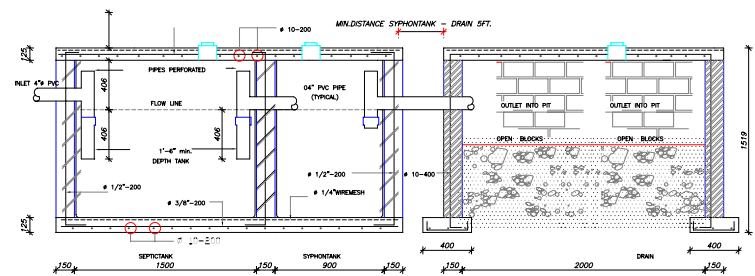


PLUMBING NOTATIONS

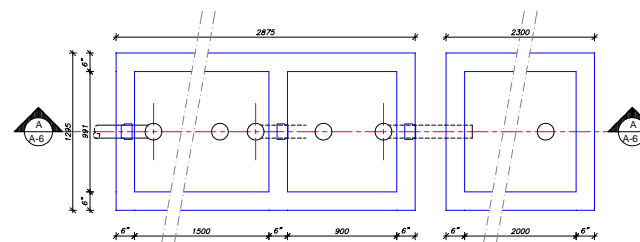
	= FLOODMAN
	= CLEAN OUT
	= 4" SEPTIC LINE
	= 3" GREY WATER
	= 4" RAIN WATER
	= HOT WATER
	= COLD WATER

RAIN WATER COLLECTION LINES

1. CONTRACTOR TO SUPPLY AND INSTALL 4" ALUMINUM GUTTERS
2. CONTRACTOR TO SUPPLY AND INSTALL DOWNSPOUTS IN LOCATIONS INDICATED
3. ALL DOWNSPOUTS TO BE INTEGRATED IN WALLS
4. OVERFLOW CISTERN TO DRAIN TO SURFACE



SEPTIC TANK



General Specifications*
Pointe Esprit Residences
Lower Beethoven Road, Cay Hill

Date: July 2005

General Notes:

- The basic home basement level 'guest suite' will not be constructed as drawn unless the Buyer agrees to purchase it as an option. The area will be finished as a car-port. The contractor will provide roughing for basic electrical and plumbing fixtures as indicated on the plans. (no telephone, cable and kitchen outlets). Partition walls for walk-in closet and bathroom to be excluded. The rear wall, sliding door, and balcony are excluded.
- In deviation to the plumbing drawings the plumbing system will not be separated in gray and black water lines. No cistern will be built unless the Buyer agrees to purchase it as an option.
- Contractor will provide all electrical provisions only for elevator shaft in accordance with instructions by the elevator supplier (see drawings). Elevator will be installed by elevator supplier if purchased by the Buyer as an option.
- The contract shall include a allowance of US\$20.00,/m2 for the supply of floor tiles. Total amount shall be included in quotation (No tiles in utility room).
- Likewise for wall tiles an allowance of US\$ 20.00/m2 shall be included in the quotation. For bathrooms assume 25x35cm tiles up to doorframe.
- For the kitchen an allowance of USD 15.000, - shall be included in the contract sum
- Quote for two (2) alternate exterior railing options. Option 1 will be a combination of aluminum and glass as indicated on the elevation drawings. Option 2 will be aluminum only. Both options subject to Developer's approval.
- The interior staircase -and vide railing will be a hardwood railing with 'contemporary' banisters (no cluttered styles) and subject to Developer's approval.
- Contractor related activities for the pool are limited to the construction of the inner retaining/pool wall and providing the electrical lines for the pool lights. Pool construction and installations by selected subcontractor (Contractor may quote separately for complete pool construction and installation).
- Contractor to separately quote for the construction of a rock wall retaining wall on the pool deck level. Approx. length and height of RT wall according to location and elevation plans. Quote shall also include concrete retaining walls indicated on the East & North elevations specifically alongside the driveway, behind the kitchen, and North of the pool.
- Contractor to quote for the construction of a painted wooden pergola as indicated on the projected roof plans (3x6 rafters @ 16" centers).
- In addition to the drains indicated on the plans, the contractor shall provide wall enclosed drains for all indicated A/C units (Drains to tie into drainage system).

Sanitary Areas:

- All sanitary installations shall be American Standard (or .equal).in quality. The master bathroom will have a wall mounted toilet. Both the shower cubicle and the toilet cubicle will have a hard glass door with no frame (hinged from wall). The partition walls shall be entirely tiled. Contractor to include an allowance of USD 1.800.00 for the supply of a Jacuzzi-tub. Installation by contractor.
- The master bathroom closets shall consist of 2- 16' wide shelving parts (one on each side of the closet), with the balance made up of a hanging section. The doors shall be mirrored sliding doors.
- The Laundry room shall have a mop sink and include all provisions for a washer and dryer as indicated
- All level 1 bedrooms shall feature a 3' circular shower cubicle with glass sliding doors to optimize space. Contractor to quote for the assembly and installation of principal supplied cabinets, sinks, mirrors and faucets for these 3 bathrooms. Other bathrooms by contractor.

Windows and Doors:

- All Windows and doors shall be high quality aluminum frames and glass according to the dimensions shown. (Quality of aluminum to be Samiver, Rolling System, Tecalu or similar with a 125mph warranty supplied by the installer). All sliding doors as well as the entrance door on the main floor level are 2.4m high. All other sliding doors are 2.15m. A door- and window schedule will be provided.
- All Aluminum louvered panel windows shall have lever shaft operators (no cranks) and mosquito screens
- Utility Room doors will not be executed as drawn. Instead a single (0.93x2.1m) aluminum door with louvered panel for ventilation will be installed.
- All hardware on exterior doors to be Stainless Steel. Interior hinges: Galvanized Steel
- All interior doors. Hardwood panel doors with non-corrosive hardware.
- Kitchen and Master bathroom windows to be sliding panels for the lower section (incl. mosquito screens). Upper section to open as indicated.

Roofing Materials:

- Flat roof over vide to be finished with a bituminous layer and a reflective coating (Soprema ,or equal).
- Flat roof over dining/kitchen + miscellaneous balconies to be tiled as indicated.

Electrical & A/C installation:

1. Contractor to provide GEBE meter-wall according to GEBE requirements for each villa. Each villa shall have a 200 Amp Square D panel box (or equal). Installation of main cable from meter wall to panel box to be included in quotation.

2. Quotation to include wiring for all provisions listed on the electrical plans. This includes 220V connections for A/C's, pumps and the water heater. Different groups to be provided for Microwave, A/C, Pumps, Water heater, Refrigerator, Stove, Dishwasher and Washer/Dryer.
3. Contractor to include provision for the installation only of Buyer supplied light fixtures, fans, dishwasher, refrigerator etc.
4. In principle all appliances including A/C's and lighting fixtures will be provided by the Buyer. Contractor supplied light fixtures are limited to the recessed spots in the master bathroom and closet area as well as the recessed stairwell lights and wall mounted exterior patio lights. Dixie square stair light. (<http://www.lightson.co.nz/contemporary-outdoor-lighting-fixtures.asp>).

Drainage:

1. The galvanized steel roofs will have downspouts that are integrated into the walls and will be routed towards the indicated cistern location. No water shall be drained to the surface.
2. The gutters around the roof edge will be 100mm aluminum gutters.
3. Depending on the soil conditions the soak-away may be executed in the form of a drain field.
4. Planters indicated on the site plan will be limited to a small boundary wall on the main pool deck (see drawing). Planters around the pool will be part of the pool contractors scope.
5. All Decks shall be properly drained away from door openings. Exact location of drains to be discussed with architect

Painting/Renderings:

1. The entire exterior facade of the ground floor and upper floor will be finished with a relief paint Durock (or equal). in the color indicated by the Buyer.
2. Interior to be finished with a primer and a single coat of paint.

* General Specifications are subject to change.

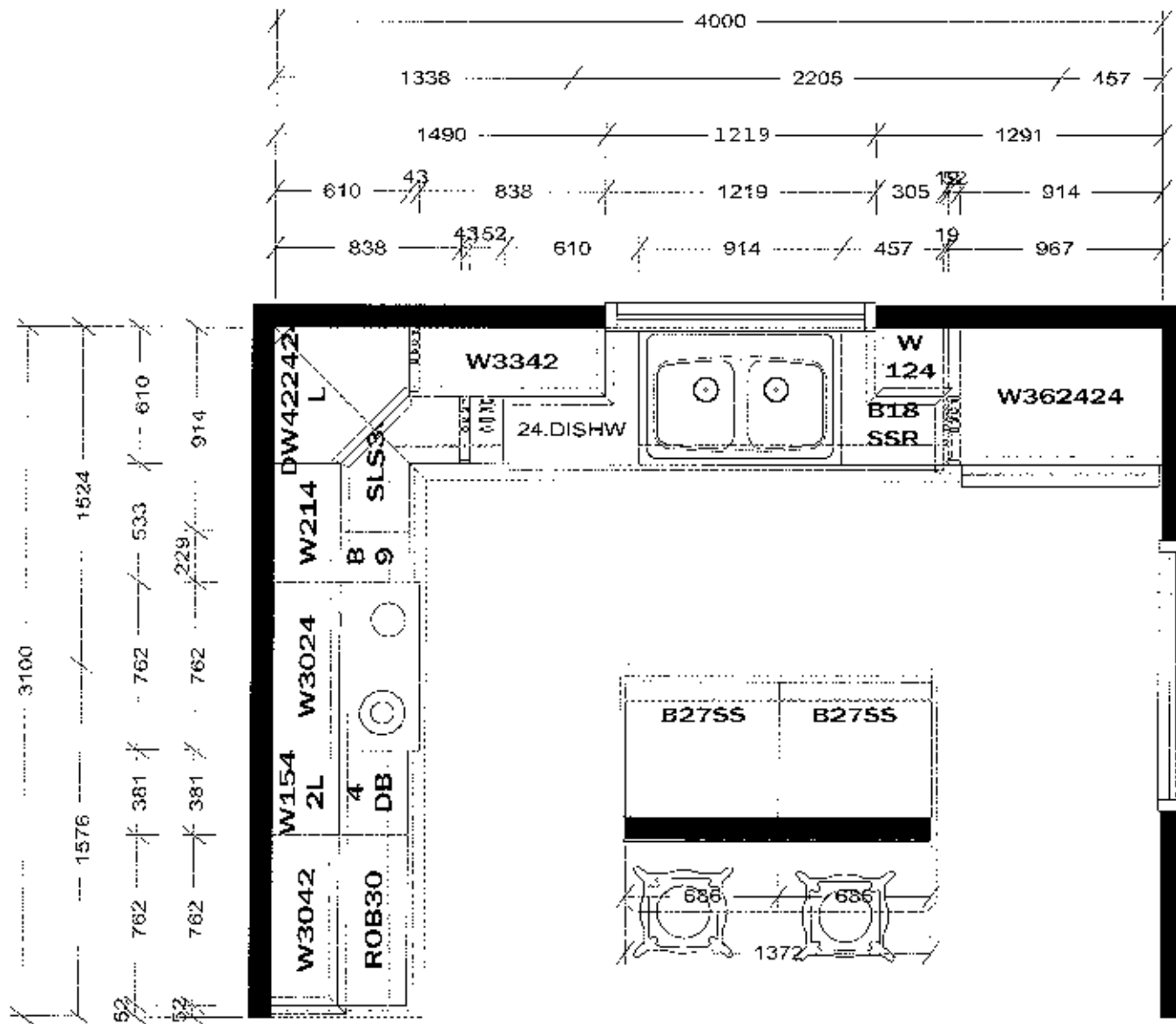
STANDARD KITCHEN PLAN

The standard home plans call for inclusion of a \$15,000 allowance for provision of cabinets and appliances in the kitchen. This allowance has been included in the price of the home and is adequate to pay for the cabinets and appliances shown with shipping to the site.. However, provision has been made to allow the home buyer to customize the kitchen cabinetry and appliances to suit individual tastes.

The cabinetry and appliances (or equal) shown here can be installed with the proposed \$15,000 budget allowance if so desired by the home buyer. Changes in cabinetry and appliances can be made by the homeowner, with the understanding that the costs above the \$15,000 budgeted amount will be at additional cost to the home buyer..

The budgeted standard kitchen will provide all stainless steel finish appliances including side by side refrigerator, range/oven, microwave/vented range hood and dishwasher. All cabinetry will be hardwood construction (no particle board), with stainless hardware. Cabinetry includes L-shape floor-mounted and wall-mounted cabinets as configured in plans as well as a centered island with bar seating for two. A two bay stainless steel sink/faucet is included.

See attached appliances specification sheets for refrigerator, range/oven, microwave/range hood and dishwasher. Plan and profile detail drawings for standard cabinetry are attached as well shown as well. The standard cabinets are from the Diamond Reflections collection manufactured by Masterbrand Cabinets.

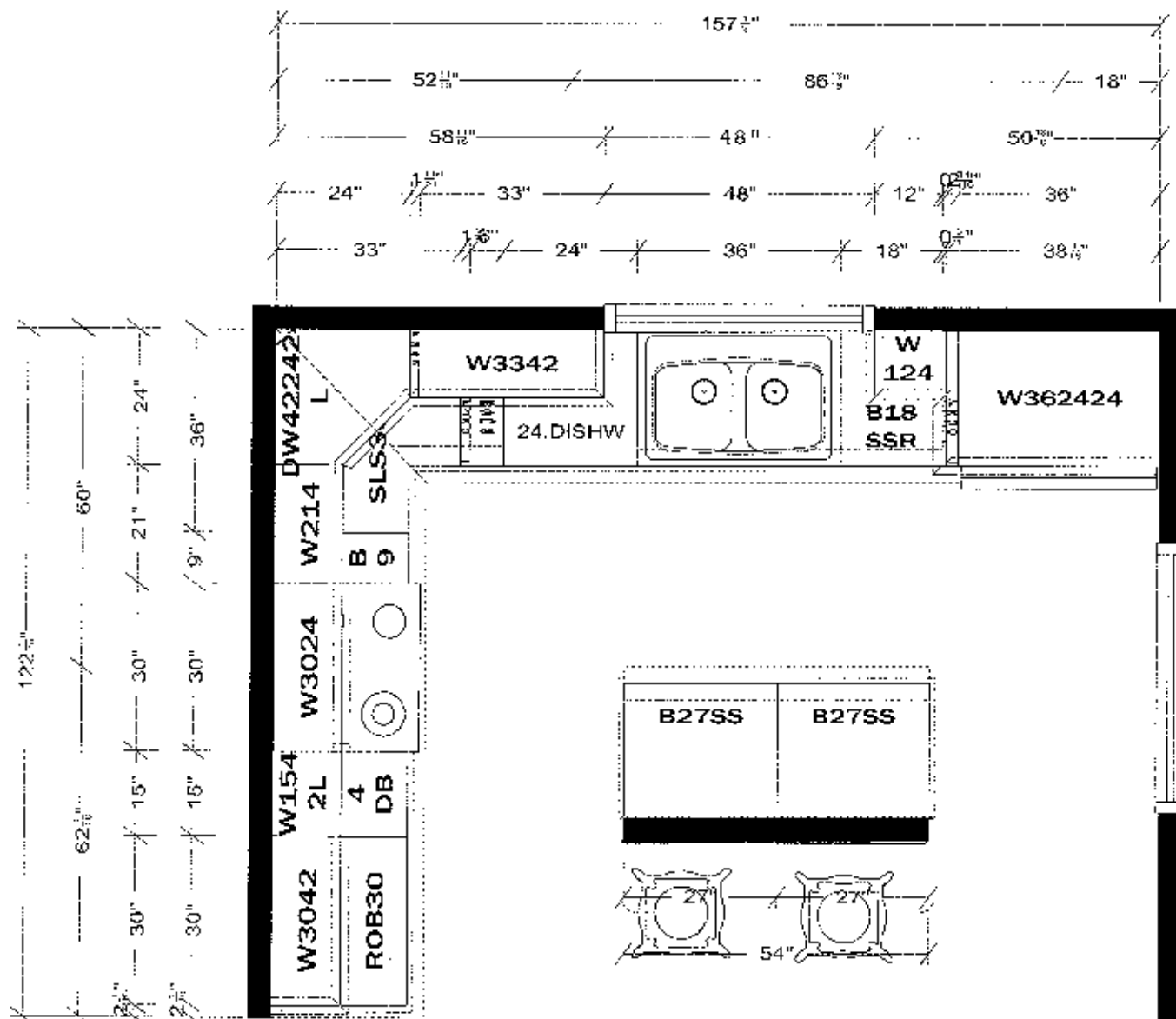


All dimensions size designations given are subject to verification on job site and adjustment to fit job conditions.



This is an original design and must not be released or copied unless applicable fee has been paid or job order placed.

Designed: 7/22/2005
Printed: 7/22/2005

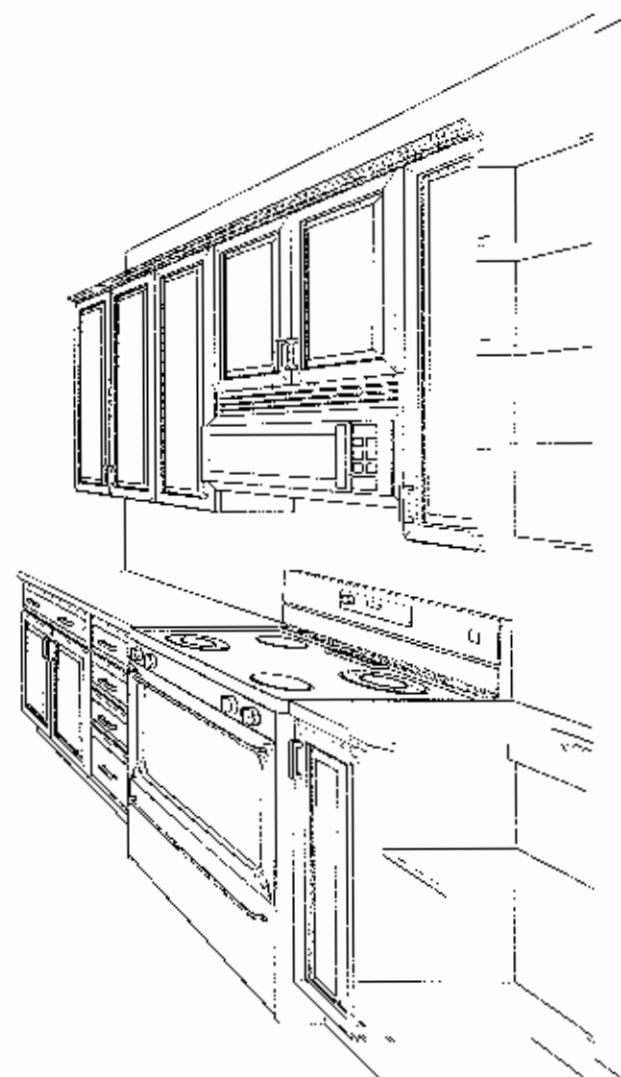
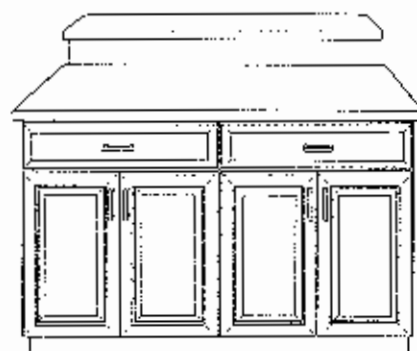
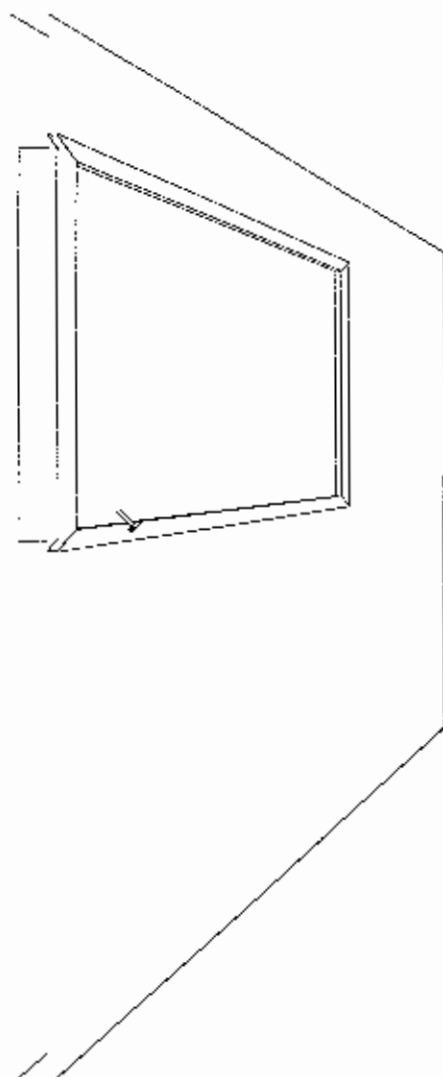


All dimensions, size designations given are subject to verification on job site and adjustment to fit job conditions.



This is an original design and must not be released or copied unless applicable fee has been paid or job order placed.

Designed: 7/22/2005
Printed: 7/22/2005



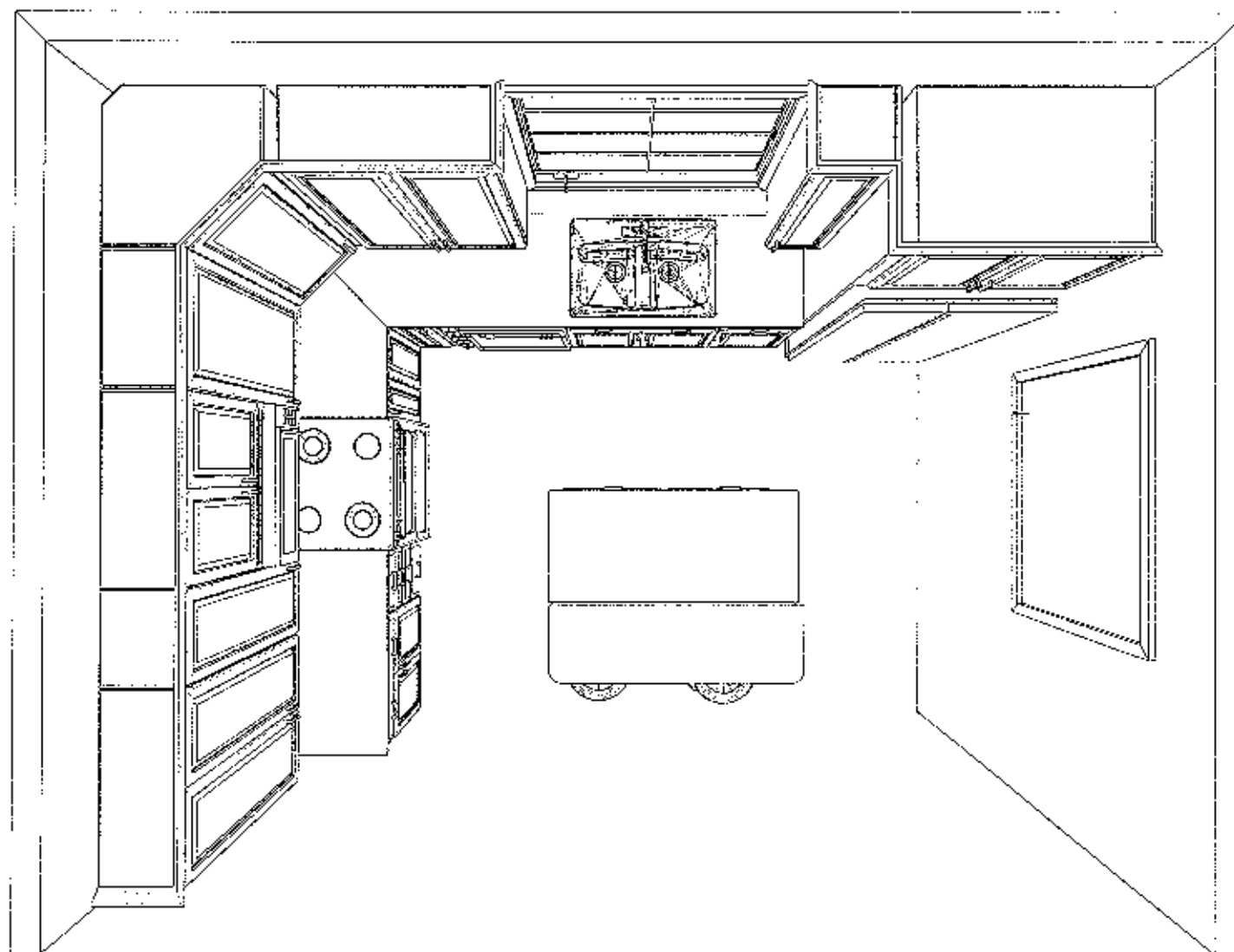
Note: This drawing is an artistic interpretation of the general appearance of the design. It is not meant to be an exact rendition.



Designed: 7/22/2005
Printed: 7/22/2005

011-599-557-2100.kit

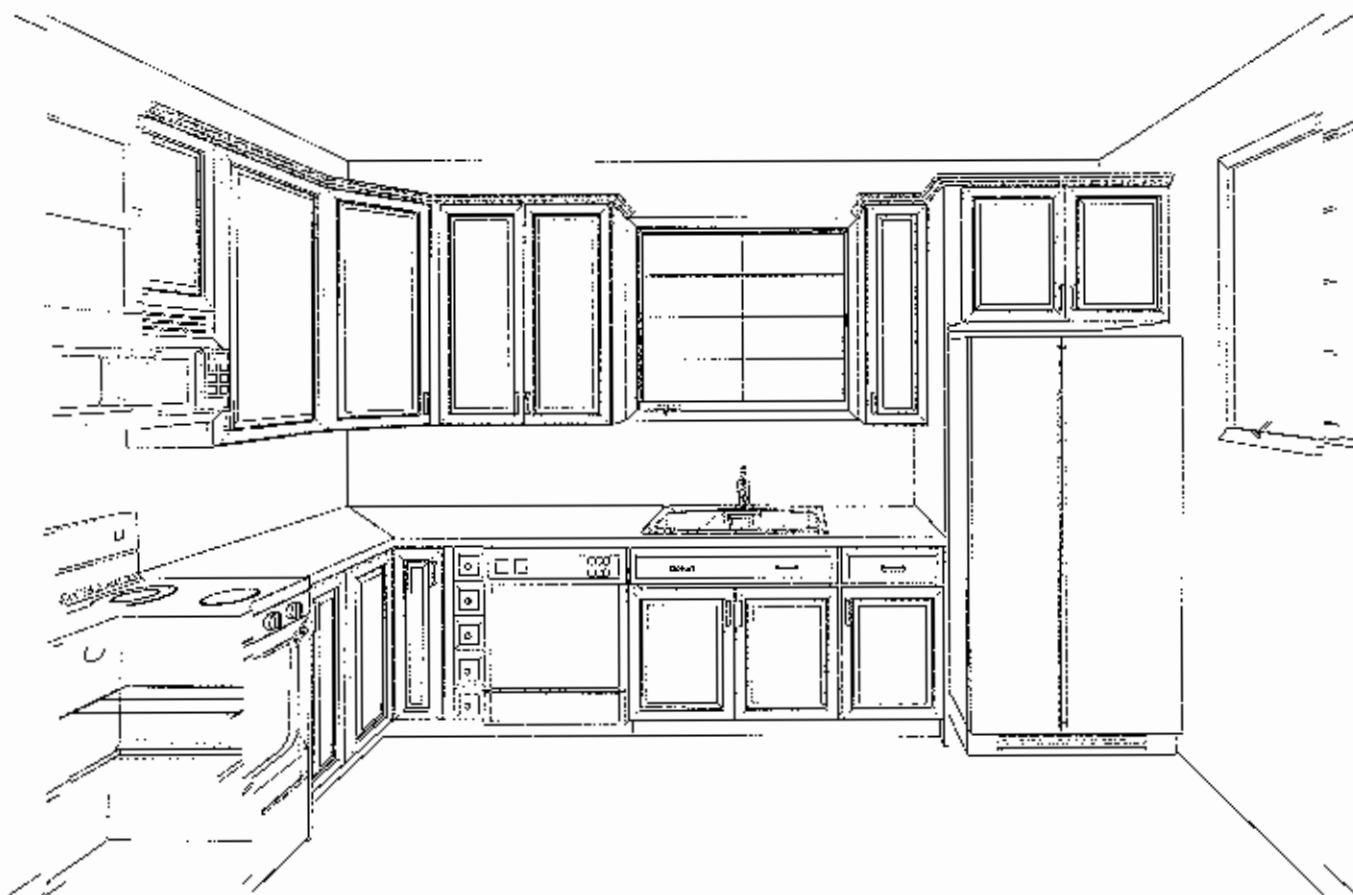
Drawing #: 1



Note: This drawing is an artistic interpretation of the general appearance of the design. It is not meant to be an exact rendition.



Designed: 7/22/2005
Printed: 7/22/2005



Note: This drawing is an artistic interpretation of the general appearance of the design. It is not meant to be an exact rendition.



Designed: 7/22/2005
Printed: 7/22/2005

01 (-599-557-2100).kit

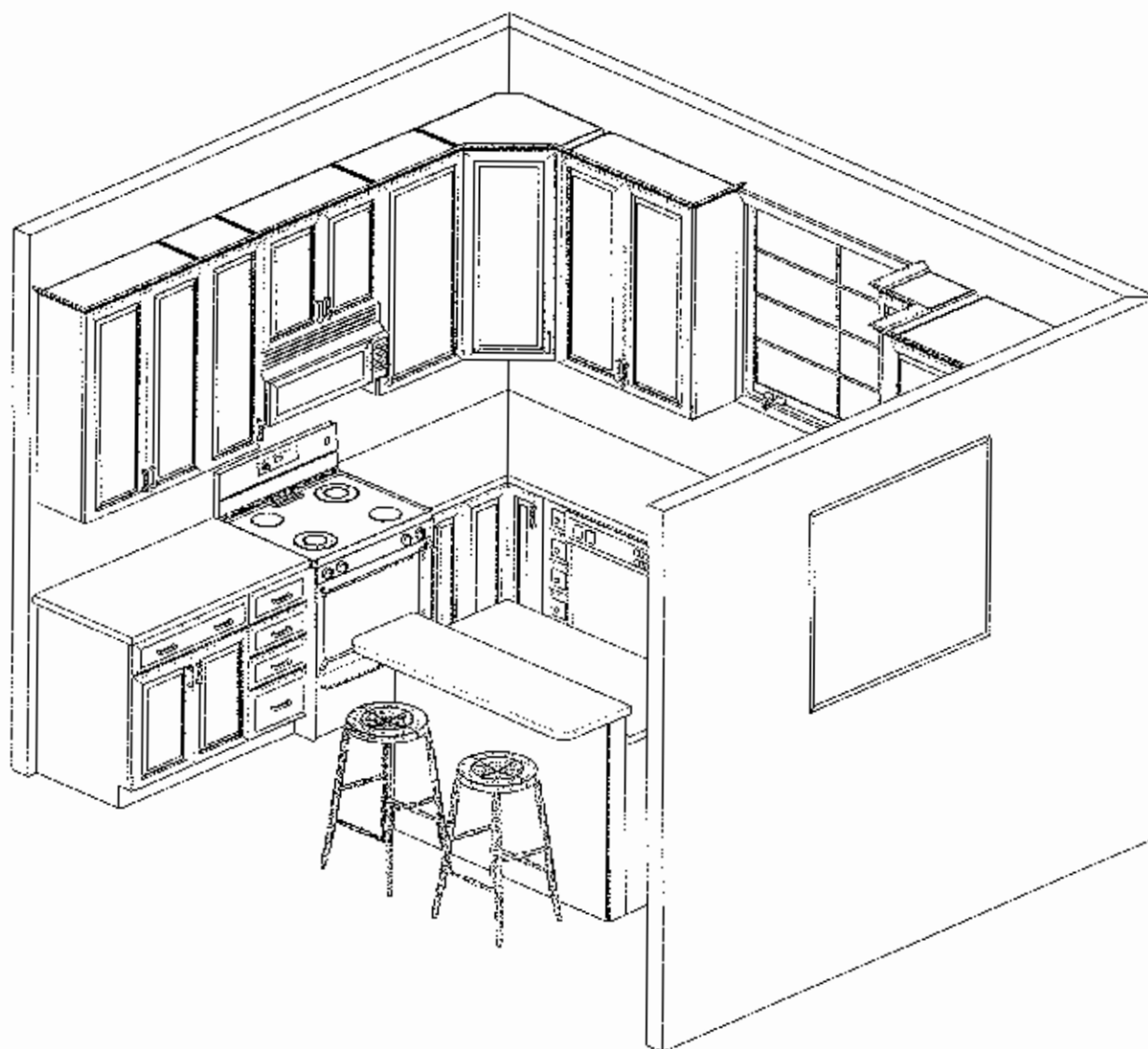
Drawing #: 1



Note: This drawing is an artistic interpretation of the general appearance of the design. It is not meant to be an exact rendition.



Designed: 7/22/2005
Printed: 7/22/2005



Note: This drawing is an artistic interpretation of the general appearance of the design. It is not meant to be an exact rendition.



Designed: 7/22/2005
Printed: 7/22/2005

LEV® Home Elevator

The Next Level.

Available in counterweighted chain drive and hydraulic drive



ThyssenKrupp Access

Residential Elevator Division



ThyssenKrupp



LEV[®]

The Next Level.[™]



The first choice for
your new home.

Are you building or thinking about building your new multi-story home? Then you should consider the advantages of including the LEV home elevator.

The LEV is the first home elevator designed for the needs of new home construction — so it fits into nearly all new home designs. Multi-story luxury home? Ranch style with a basement? Or a multi-story condo or townhome? The LEV is the right choice for any of them. Including your home.

Our elevator engineers took a “clean-sheet-of-paper” approach to home elevators with the LEV. And it shows.

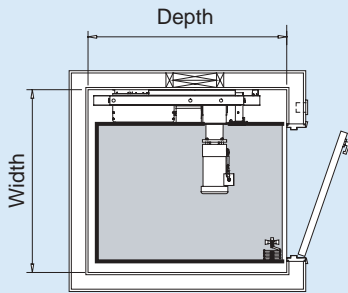
They gave it greater lifting capacity and more standard features than other home elevators. They made it available in your choice of either a hydraulic or counterweighted chain drive system.

They made it easy to manufacture and install. Meaning you won't have to endure months of waiting for your elevator. Plus it can be installed just about any time during construction phase.

And they delivered all of this for thousands of dollars less than comparable home elevators from other manufacturers.

Typical LEV® hoistway sizes and car configurations

Type 1

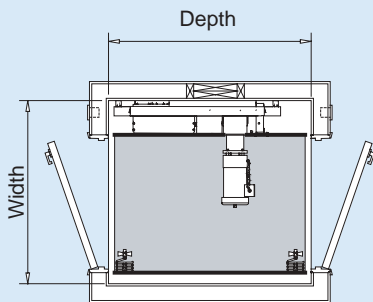


Type 1—Enter/Exit Same Side

Car Size	Width 1	Width 2	Depth
36 x 48	50 1/2"	54"	55"
36 x 60	50 1/2"	54"	67"
40 x 54	54 1/2"	58"	61"

Width 1 – Counterweighted chain drive
Width 2 – Hydraulic drive

Type 2

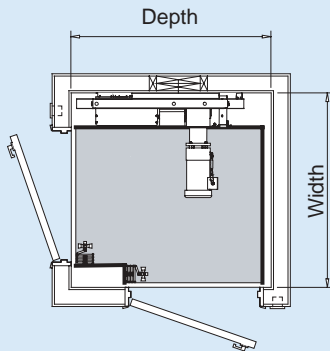


Type 2—Enter/Exit Straight-Thru

Car Size	Width 1	Width 2	Depth
36 x 48	50 1/2"	54"	55 1/2"
36 x 60	50 1/2"	54"	67 1/2"
40 x 54	54 1/2"	58"	61 1/2"

Width 1 – Counterweighted chain drive
Width 2 – Hydraulic drive

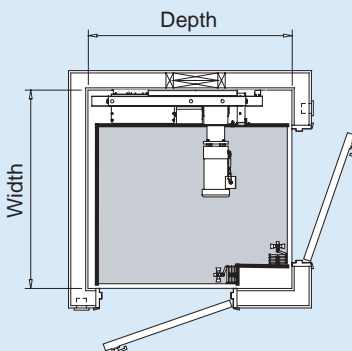
Type 3



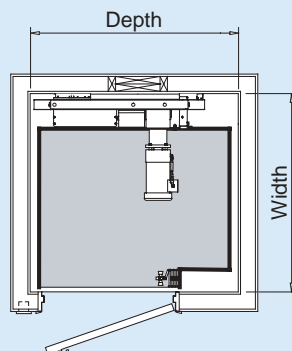
Types 3, 4—Enter/Exit 90° & 5—Enter/Exit Adjacent Side

Car Size	Width 1	Width 2	Depth
36 x 48	52 1/8"	55 5/8"	55"
36 x 60	52 1/8"	55 5/8"	67"
40 x 54	56 1/8"	59 5/8"	61"

Width 1 – Counterweighted chain drive
Width 2 – Hydraulic drive



Type 4



Type 5

Overview

- Comes complete with:
 - Accordion car gate(s)
 - Two recessed halogen car lights
 - Wood handrail
 - Plywood floor
 - Car operating panel and hall stations
 - Emergency stop switch
 - Automatic car lighting
 - Digital floor position indicator
- Five car configurations
- Three car sizes:
 - 36" x 48", 36" x 60", 40" x 54"
 - (also available in 2" increments from 12 ft² to 15 ft². For applications other than this, consult factory. Local codes may require variances on non-standard cab sizes)
- Three car heights:
 - 84", 88", 94"
- Four car packages to choose from:
 - Melamine car
 - Wood veneer car
 - Raised panel hardwood car
 - Inset wood panel car
- Travel up to 50 feet — providing basement to top story access with service up to five stops.
- Space miser:
 - Low overhead clearance and pit requirements conserve valuable living area in your home.
 - Perfect for coastal and flood plain areas
 - Counterweight chain drive system does not require a machine room
 - Hydraulic drive system allows machine room to be located up to 25' from hoistway.
- SoftStart and SoftStop technology ensures that when the lift begins to move or comes to a stop automatically at the landing, it will do so gently.
- The Programmable Logic Controller (PLC) monitors the elevator's performance to notice potential problems before they occur.
- Machine drive delivers up to 950 lb. lifting capacity.
- Uninterruptible power supply and floor selectable battery lowering are standard.
- ETL listed components give you peace of mind that your elevator will perform reliably.
- Equipped with standard safety devices: hoistway door interlocks, a slack chain/rope safety to stop and hold the elevator car, and an emergency light and alarm.
- Standard 2 year warranty covers your LEV against defects in workmanship.



Oak inset wood panel

Elevator Car

Even when you're traveling floor to floor, you can enjoy a custom look and feel. The LEV home elevator car comes in a wide variety of standard features and options.

- Car walls are available in either melamine, wood veneer, raised panel hardwood or inset wood panels.
- Two recessed halogen lights come standard. Or choose our four light option.
- Even the ceiling is customizable. White melamine is standard. If you choose any of the wood options for your car walls, you can match it on your ceiling. Flat ceiling not fancy enough? Try one of the framing options shown below.

No frame



Single frame

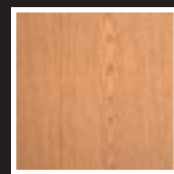


Deluxe frame



Light oak melamine

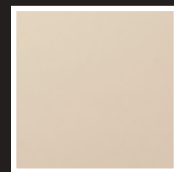
Car paneling options



Light oak

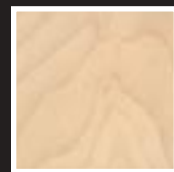


Dark oak

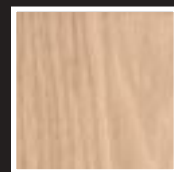


Champagne

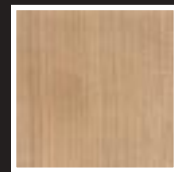
Standard melamine:
light oak, dark oak,
champagne, white
(not pictured)



Birch



Oak



Cherry

Optional wood

(shown unfinished)
Wood veneer, raised
hardwood and inset
panels available in
birch, oak, cherry.

Protect your investment
with a factory finish.
Select a varnish or any
Minwax® Wood Finish™.



Birch wood veneer



Solid cherry hardwood
raised panel

Options to finish your LEV.

A perfect blend
of beauty and function.

Accordion gates

Car gates provide security while the elevator is traveling. It neatly folds out of the way for easy entry and exit.

Accordion car gate standard color choices: white, chalk, champagne, light or dark oak panels.

For a unique look, substitute an accordion car gate with clear vision panels. Or you can choose a solid or perforated aluminum accordion car gate in a clear coat or brass finish.

Add an auto gate operator for “hands free” convenience. It slides the gate open and closed at each landing. And for your safety, it will auto-reverse if the light beam safety curtain senses an obstruction. Auto opener for hoistway door is also available.

Hall stations and operating controls
available in four finishes



Brushed stainless steel



Polished stainless steel



Brushed brass



Polished brass

Light oak

Dark oak

Chalk

Champagne

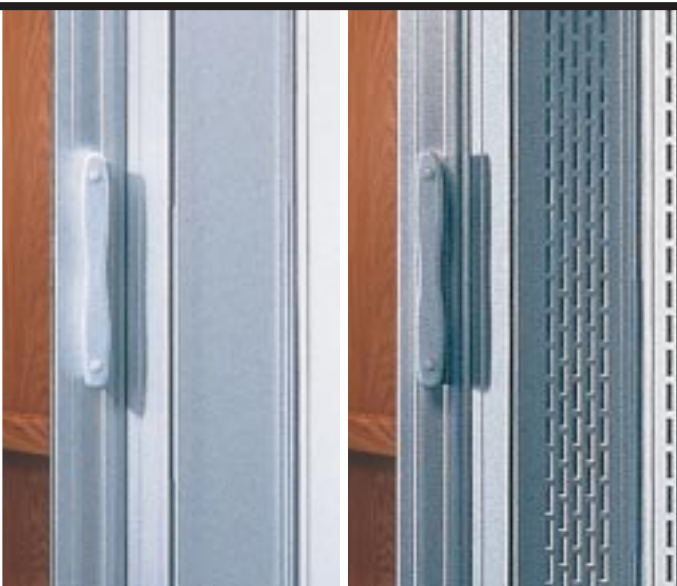
*White (shown with optional
3 clear vision panels)*





Optional solid aluminum
(also available in brass finish)

Optional perforated aluminum
(also available in brass finish)



Handrails

Standard wooden handrail can be replaced with metal handrail in choice of stainless steel or brass finish.

Melamine handrails

Light oak

Champagne

White

Dark oak

Wood handrails (shown unfinished)

Birch

Cherry

Oak

Metal handrails

(not available with melamine wall panels)

Brushed stainless steel

Polished stainless steel

Brushed brass

Polished brass



LEV[®] The Next Level.™

The LEV home elevator, has been specifically designed and built to conform with the requirements of ASME A17.1-2000 Section 5.3 standard for residential elevators in private dwellings.

Features:

General:

- Speed: 40 fpm (.20ms)
- Minimum pit depth: 6"
- Maximum travel: 50'
- Maximum number of stops: 5 (minimum 17" travel between stops)

Mechanical Equipment:

- Modular Dual 61/4 lb. T-rail system

Car and Appointments:

- 36" x 48" (12 ft2) x 84" high car size
- Melamine wall panels in choice of champagne, light oak, dark oak or white
- White ceiling
- Two recessed halogen lights
- Wooden handrail to match wall panels
- Accordion car gate in choice of champagne, chalk, light oak, dark oak or white
- Unfinished plywood floor (with removable insert for 3/4" thick finished floor by others)
- Telephone

Controls:

- Programmable Logic Controller (PLC) with digital signal processor
- Fully automatic operation
- Car operating panel and hall stations (brushed stainless steel or brass) with LED floor position/diagnostic display and call acknowledgment
- Automatic car lighting with constant on switch
- Automatic homing to a designated floor
- Bi-directional leveling
- Emergency stop switch
- Emergency alarm button
- Hoistway wiring with conduit (hall stations/interlocks)
- Uninterruptible power supply (UPS) for lowering and automatic gate operation (if supplied) in case of a power failure

Safety Devices:

- Lockable auxiliary disconnect for car lighting circuit
- Lockable auxiliary disconnect for drive unit circuit
- Upper and lower terminal limits
- Final limits
- Pit switch and car top stop switch
- Battery backup emergency light and alarm
- Car gate safety switch
- Electromechanical interlocks (for doors by others)

Options:

- 36" x 60" (15 ft2) or 40" x 54" (15 ft2) car sizes
- Special car size: 12 ft2 to 15 ft2, available in 2" increments. For applications that require less than 12 ft2 or more than 15 ft2, consult factory with specific measurement and application details. (local codes may require variances on non-standard cab sizes)
- 88" or 94" inside car heights (requires additional overhead space)
- Unfinished wood veneer panels (oak, cherry or birch)
- Unfinished inset wood veneer panel walls (oak, cherry or birch)
- Factory applied finish to wood veneer panels and handrail
- Raised wood panel walls (oak, cherry or birch) with choice of finish.
- Recessed telephone cabinet (brushed stainless steel or brass, or polished stainless steel or brass)
- Matching wood veneer ceiling panel*
- Hall stations and car operating panel in polished stainless steel or brass
- Metal handrail* (brushed stainless steel or brass, or polished stainless steel or brass)
- Automatic car gate operator with light beam safety curtain
- Automatic hoistway door operator
- GAL Type 'N' interlocks (requires additional hoistway space)
- Buffer springs (requires 12" deep pit min.)

Car Gate Upgrades:

- Accordion car gate with 3 clear vision panels
- Accordion car gate with all clear vision panels
- Solid aluminum or perforated aluminum accordion car gate in clear coat finish or brass finish
- Deluxe Visifold® car gate

Control Upgrades:

- Key switch controls in car operating panel and/or hall stations

*Not available with melamine wall panels.

Counterweighted chain drive specific features:

General:

- Rated load: 950 lbs. (430 kg) (750 and 700 lbs. available)
- Minimum overhead clearance: 8'-6"

Mechanical Equipment:

- 230 VAC, 60 Hz, 20 amp single phase power supply with neutral and ground (4 wires)
- Two #60 roller chains
- Frequency controlled variable speed geared machine with counterweighted chain drive, 2 hp motor

Safety Devices:

- Slack chain safety device

Options:

- Remote located elevator controller
- Counterweight safety device

Hydraulic-specific features:

General:

- Rated load: 750 lbs. (340 kg) (700 and 950 lbs. available)
- Minimum overhead clearance: 8' (w/remote controller), 8'-6" (w/o remote controller)

Mechanical Equipment:

- 230 VAC, 60 Hz, 30 amp single phase power supply with neutral and ground (4 wires)
- Two 3/8" x 7 x 19 aircraft wire ropes
- Forged rope sockets
- 2.5 hp submersed motor with two speed valve assembly

Safety Devices:

- Slack rope safety device w/manual reset switch
- Anti-creep device
- Minimum pressure switch
- Pump run timer

Options:

- Tank heater
- Two piece hydraulic jack

Specifications and/or colors subject to change without notice.

Visit our web site at www.tkaccess.com for more information including complete 3-part specifications, CAD details, and typical drawings.

Manufactured in USA since 1947.



21MD205-PM170revF

ThyssenKrupp Access Corp.
4001 East 138th Street
Grandview, MO 64030

800.829.9760
www.thelev.com
www.tkaccess.com